

# IAC MEETING AGENDA

## Thursday, May 11, 2022

Virtual Meeting  
3:30 p.m.

Live and archived streams of IAC meetings are available at <https://mdschoolconstruction.org>  
Please visit <https://mdschoolconstruction.org> to sign up for public comment.

## Introduction

- Meeting called to order
- Roll Call
- Revisions to the Agenda
- Public Comment

		Presenter	Page
<b>1</b>	Consent Agenda A. Approval of April 14, 2022 Minutes B. Contract Awards C. Project Allocation Reversions D. Project Closeout E. Washington County Technical HS Property Transfer  Informational F. Built to Learn Project Worksheets G. Built to Learn Act Project Status Report H. Projects Approaching the Deadline for Contract Approval	Bob Gorrell, Executive Director	2* 7* 20* 21* 35*  37 41 43
<b>2</b>	Approval of IAC Meeting Bylaws	Linda Eberhart, IAC Member	45*
<b>3</b>	Prince George's - William Schmidt Outdoor Educational Center - FY21/FY22 Replacement Project - Rescind and Amend FY23	Gene Shanholtz, Regional Facilities Manager (RFM)	54*
<b>4</b>	Baltimore City – Rescission and Amendment of Five Projects to FY 2023 Capital Improvement Program	Gricel Muñoz, RFM	57*
<b>5</b>	FY 2023 Capital Improvement Program 100% Recommendation	Arabia Davis, Funding Programs Manager	61*
<b>6</b>	Baltimore City Extra \$15 Million for HVAC Project Status Report	Gricel Muñoz, RFM	79
<b>7</b>	Baltimore City Revised Enhanced Approval Package – #27 Commodore John Rodgers Elementary/Middle School	Gricel Muñoz, RFM; Fred Mason, School Facilities Branch Chief, MSDE	81*
<b>8</b>	Cecil Manor ES FY 21 and 22 HVAC project Cancellation	Eileen Gladd, RFM	198*
<b>9</b>	Montgomery - Built To Learn Poolesville High School Project Revision	Arabia Davis, Funding Programs Mngr	200*
<b>10</b>	Public School Enrollment Projections	Alfred Sundara, Projections and State Data Center Manager, MDP; Jamie Bridges, Planning Manager	202
<b>11</b>	HB1290 and FY 2023 Budget	Cassandra Viscarra, Deputy Director for Administration	217
<b>12</b>	Executive Session: Personnel Matter, §3-305(b)(1) of the General Provisions Article of the Anno. Code of Md.		*

## Announcements

\*Action Item

IAC Meeting 05/11/2022

## **DRAFT Meeting Minutes – April 14, 2022**

### **Call to Order:**

Chair Kasemeyer called the video-conference meeting of the Interagency Commission on School Construction to order at 9:00 a.m.

### **New Member Announcement**

Chair Kasemeyer welcomed Michael Darenberg as the new member of the IAC.

### **Members in Attendance:**

Edward Kasemeyer, Appointee of the President of the Senate, Chair  
Superintendent Mohammed Choudhury, Maryland State Department of Education  
Secretary Ellington Churchill, Department of General Services  
Michael Darenberg, Appointee of the Governor  
Linda Eberhart, Appointee of the Speaker of the House  
Brian Gibbons, Appointee of the Speaker of the House  
Gloria Lawlah, Appointee of the President of the Senate  
Secretary Robert S. McCord, Maryland Department of Planning

### **Members Not in Attendance:**

Dick Lombardo, Appointee of the Governor

### **Revisions to the Agenda:**

There were no revisions to the agenda.

### **Public Comment:**

There was no public comment.

### **IAC Correspondence:**

There was no IAC correspondence.

#### **1. Consent Agenda – [Motion Carried]**

Upon a motion by Ms. Lawlah, seconded by Mr. Gibbons, the IAC voted unanimously to approve the consent agenda.

##### **A. Approval of the March 10, 2022 Minutes**

To approve the minutes of the March 10, 2022 Interagency Commission on School Construction Meeting.

##### **B. Summary of Contract Awards**

To approve contract procurement as presented.



**C. Project Allocation Reversion**

To approve the reversion of the amounts identified below to the appropriate statewide contingency accounts.

**D. Project Closeouts**

To approve the final State project costs as presented and to remove the projects from the active project detailed financial report.

**E. Revisions to Previously Approved Contracts**

To approve revisions to three previously approved contract awards to accurately reflect the reversion of funds to the appropriate reserved appropriation account for the Glendale Elementary Chiller Replacement Contract, Riviera Beach Elementary Chiller Replacement Contract, and the Franklin High Lock Replacement Contract.

**F. St. Mary's Public Schools Easement – [Informational Only]**

**G. Baltimore City E15M Report – [Informational Only]**

**H. Projects Approaching the Deadline for Contract Approval – [Informational Only]**

**2. Built to Learn Act Project Status Report – [Informational Only]**

Bret Waskiewicz, IAC Senior Regional Facilities Manager, presented a status report of Built to Learn Act projects. The report shows the project's delivery method and the percentage complete for each of three phases. Mr. Waskiewicz highlighted several projects that have experienced significant delays in their project schedule.

In response to questions from the Commission, IAC staff explained that Charles County bid three projects at the same time rather than spreading them out because they wanted to get all the projects under contract as quickly as possible in order to have final bid amounts to inform their memorandum of understanding (MOU) with the Maryland Stadium Authority (MSA). Members expressed concern with the supply chain of construction material and the impact on school construction. Staff confirmed that LEAs have experienced a shortage of construction materials. To mitigate supply chain issues, the LEAs have ordered supplies prior to construction to allow for long lead times. Members directed IAC staff to reach out to MSA to discuss the possibility of the state buying certain materials that are difficult to obtain in bulk to assist LEAs in acquiring needed materials. In response to questions from the Commission, staff stated the opening date for the Lansdowne High School project is August 2026.

**3. Built to Learn Project Approvals – [Motion Carried]**

Arabia Davis, IAC Funding Programs Manager, presented recommendations for the approval of two new BTL projects, Green Valley and Valley Elementary Schools in Frederick County, and revision of two previously approved projects. The revision for Anne Arundel County's New West County Elementary School project amended the gross square footage of the facility to include additional classrooms that were not a part of the LEA's original allocation request. The additional square footage was used to calculate the revised Maximum State Construction Costs, which increased the State's share by \$994,000 more than the original project allocation approval. Charles County's J.P. Ryon Elementary PreK-K Addition project original estimated construction budget did not include eligible Design and FF&E funding. The recommended increase is to increase the previously approved allocation by \$371,000 to include these eligible cost components.

Upon a motion by Ms. Eberhart, seconded by Superintendent Choudhury, the IAC voted unanimously to approve project allocations and revisions as presented to be funded and executed through the Built

to Learn Act, with new allocations estimated to total \$53,513,000 and revised allocations that increase the estimated total allocations by \$1,365,000. Final funding amounts are subject to adjustment based upon finalization of project worksheets and review of project eligibility.

**4. Amendment of Prince George's FY21 and FY23 CIP – [Motion Carried]**

Gene Shanholtz, IAC Regional Facilities Manager, presented Prince George's County Public Schools (PGCPS) request to cancel the FY 2021 Systemic HVAC project at Charles H. Flowers High School and amend the FY 2023 Systemic Roof project at Charles H. Flowers High School to include the HVAC scope of work. The two projects were originally developed by different planning teams and resulted in submission of two separate requests. PGCPS decided to combine the two projects for better project coordination and execution.

Upon a motion by Secretary McCord, seconded by Superintendent Choudhury, the IAC voted unanimously to:

1. Approve the cancellation of Prince George's County Public School (PGCPS) FY 2021 Charles H. Flowers High School HVAC Project (PSC# 16.174.21 SR);
2. Transfer the State allocation totaling \$4,819,000 to the LEA's Reserved Prior Year Appropriations Account;
3. Amend the FY 2023 CIP Charles H. Flowers Roof project to include the HVAC scope of work; and,
4. Apply \$4,819,000 from the Reserved Prior Year Appropriations account to the FY 2023 Charles H. Flowers HVAC/Roof project (PSC# 16.174.23 SR).

**5. Cancellation of Frederick County FY21 Middletown High School CIP – [Motion Carried]**

Ms. Davis presented Frederick County Public School's (FCPS) request to cancel the FY 2021 Capital Improvement Program roof project at Middletown High School. FCPS re-evaluated the needs of the school and determined that it would need to be renovated or replaced within the next 10 years. FCPS confirmed that they will use local funds to make the necessary repairs to extend the life of the building system.

Upon a motion by Secretary McCord, seconded by Ms. Eberhart, the IAC voted unanimously to approve the cancellation of Frederick County Public School's (FCPS) FY 2021 Middletown High School Roof Replacement Project (PSC# 10.005.21 SR) and transfer the State's allocation totaling \$168,320 to the LEAs Reserved Prior Year Appropriations Account.

**6. FY 2023 HSFF Schedule for Allocation and Revision to Procedures - [Motion Carried]**

Cassandra Viscarra, IAC Deputy Director for Administration, provided a summary of the draft revisions to the Health School Facility Fund Administrative Procedures Guides and available funding for FY 2023.

Upon a motion by Secretary Churchill, seconded by Mr. Gibbons, the IAC voted unanimously to approve changes to the Healthy School Facility Fund (HSFF) Administrative Procedures Guide as presented and to authorize staff to solicit FY 2023 applications from LEAs and the Maryland School for the Blind for projects that will improve the health of school facilities. Additionally, to authorize IAC staff to make non-substantive edits as necessary.

**7. FY23 Aging Schools Program Revision to Procedures - [Motion Carried]**

Ms. Viscarra provided a summary of the draft revisions to the Aging Schools Program (ASP) Administrative Procedures Guides and available funding for FY 2023. Upon questions from the Commission members, IAC staff explained that the deletion of references to window air conditioning is because more sophisticated and effective technology has become available to serve the same purpose, making the references outdated. Members requested a clarification on change order eligibility. Staff explained that, following a recommendation from the Knott Commission, the General Assembly in 2018 enacted Chapter 14 which prohibited the IAC from funding, reviewing, or approving Change Orders. Removing the reference brings the ASP procedures into alignment with statute.

Upon a motion by Ms. Eberhart, seconded by Secretary Churchill, the IAC voted unanimously:

1. To approve the Aging Schools Program (ASP) Administrative Procedures Guide, pending non-substantive edits by staff;
2. To direct staff to solicit ASP projects from LEAs with a maximum total allocation of \$6,109,000 in accordance with the FY 2023 State budget, plus any available funds from prior year allocations.; and
3. To delegate authority to approve eligible projects within the total LEA allocation to IAC staff and IAC designees, with a report of project allocations submitted to the IAC periodically at regularly scheduled meetings.

**8. FY22 Non-Public School Aging Program Project Approvals and Allocations - [Motion Carried]**

Myron Mason, MSDE School Facility Program Officer, presented the FY 2022 allocations for the Nonpublic Aging Schools Program, totaling \$3,499,524. Upon questions from Commission members staff confirmed that the program follows the same non-discrimination requirements as the MSDE BOOST program.

Upon a motion by Ms. Lawlah, seconded by Secretary McCord, the IAC voted unanimously to approve FY 2022 Senator James E. "Ed" DeGrange Nonpublic Aging Schools Program project allocations as presented, totaling \$3,499,524.

**9. Draft IAC Meeting Bylaws – [Informational Only]**

Ms. Eberhart presented the Draft IAC Meeting Bylaws to the IAC for review. The bylaws incorporate procedures currently in use by the IAC and practiced in other similar commissions, and will create a procedure to elect a Vice Chair. Ms. Eberhart requested that members review the bylaws and provide their comments back in order to make revisions and potentially to approve the bylaws at their May meeting.

**10. Legislative Update – [Informational Only]**

Heidi Dudderar, Assistant Attorney General for the IAC, presented an overview of the bills of interest to the IAC and their enrollment and passage status.

**Miscellaneous:**

Ms. Viscarra explained that a provision added to the Capital Budget near the end of session provided \$270 million for school construction earmarked for Baltimore City, Baltimore County, Charles County, Howard County, Frederick County, and Prince George's County for majority of the funding. An additional \$2 million was allocated to the rest of the counties, and the IAC is responsible for determining its

distribution. The funding is required to be provided with 100% state share, the projects are selected by the County and not by the County's Board of Education, and the funding must be used for projects that did not receive IAC funding in FY 23 or prior. IAC staff are working with the Department of Legislative Services and the IAC's Assistant Attorney General to clarify specific funding requirements, which will be reported to the IAC at the May meeting. Members asked if this allocation will be an annual funding or a one time allocation, staff believes that this will be a one time allocation. Discussing the entire Capital Budget, members requested if CIP had additional funding, staff noted that there was a \$5 million increase in CIP and additional funding in relocatable classrooms and other programs.

Bob Gorrell, IAC Executive Director, provided a summary of recent discussions that staff had with external stakeholders. Executive Director Gorrell and Ms. Viscarra attended the Eastern Shore Superintendent Meeting. The IAC was able to gather feedback from the meeting to understand the disconnect between Superintendents and their own staff. Based upon their suggestions, the IAC will begin to coordinate regional meetings in 2022 with Superintendents, their staff, and County representatives to improve communication and understanding of programs across a broader section of LEA staff.

Executive Director Gorrell and Alex Donahue, Deputy Director for Field Operations, provided an update of their meeting with the Maryland Association of Counties (MACo). Additionally, Mr. Donahue provided a summary of discussion with and feedback from Dr. Josh Sharfstein of John Hopkins University about the data from the Statewide Facilities Assessment (SFA). The discussions have been very constructive and the IAC will continue to work with Dr. Sharfstein.

### **Announcements:**

Executive Director Gorrell announced that he will be retiring from State service, effective the end of May, 2022.

### **Adjournment:**

Upon a motion by Ms. Lawlah, with a second by Ms. Eberhart, the IAC voted unanimously to adjourn the meeting at 10:09 AM.



## Item 1. B. Summary Of Contract Awards

### Motion:

To approve contract procurement as noted below.

The IAC staff has reviewed the contract procurement for the following State approved projects and recommends IAC approval.

		<u>Bid Opening</u>	<u>Total Contract</u>	<u>State Funds</u>	<u>Local Funds</u>
<b><u>Talbot County</u></b>					
1.	St. Michaels Elementary School PSC #20.001.21 SSGP Video Surveillance System - Replace video surveillance system.		<b>\$35,716</b>	\$35,716	\$0
	1 - Arks System	02/22/2022	\$35,716		
2.	Easton High School PSC #20.002.21 SSGP Video Surveillance System - Replace video surveillance system.		<b>\$67,084</b>	\$67,084	\$0
	1 - Arks System	02/22/2022	\$67,084		
3.	St. Michael's Middle/High School PSC #20.008.21 SSGP Video Surveillance System - Replace 13 security cameras		<b>\$29,193</b>	\$29,193	\$0
	1 - Arks System	02/22/2022	\$29,193		
4.	Tilghman Elementary School PSC #20.009.21 SSGP Systemic Renovation - Replace video surveillance system.		<b>\$42,909</b>	\$42,909	\$0

		<u>Bid Opening</u>	<u>Total Contract</u>	<u>State Funds</u>	<u>Local Funds</u>
<b><u>Talbot County - Cont'd</u></b>					
	1 - Arks System	02/22/2022	\$42,909		
<b><u>Washington County</u></b>					
5.	Washington County Technical High School PSC #21.123.22 SR SR - Electrical upgrades		<b>\$2,090,000</b>	\$593,000	\$1,497,000
	Warner Construction, RW Warner Inc	02/22/2022	\$2,090,000		
<b><u>Baltimore City</u></b>					
6.	Glenmount Pk-8 PSC #30.095.22 HSFF Design Project - Roof Design Fees		<b>\$145,193</b>	\$139,385	\$5,808
	Waldon Studio Architects	02/23/2022	\$145,193		
7.	#029 Matthew A. Henson Elementary PSC #30.242.22 ASP Asphalt/Concrete Replacment - Replace drain tile.		<b>\$158,500</b>	\$158,500	\$0
	Denver Elek	11/17/2021	\$125,450		
<b><u>Summary Totals</u></b>					
<b>Total Projects: 7</b>		<b>Total Contracts: 7</b>	<b>\$2,535,545</b>	<b>\$1,065,787</b>	<b>\$1,502,808</b>

## **APPROVAL OF CONTRACTS**

LEA: Talbot County

PSC No. 20.001.21 SSGP

Project Name: St. Michaels Elementary School

Bid Opening: 02/22/22

Project Type: Video Surveillance System

Scope of Work: Replace video surveillance system.

Basis for Award of Contract: Base bid

Basis of Funding: 100% of eligible Base Bid

Local Funds: \$0

State Funds: \$35,716

Total Contract: \$35,716

### **State Contingency for Change Orders:**

<b>Transfer State Funds:</b>	<b>Account No.</b>	<b>Amount</b>
<b>Decrease Project Allocation:</b>		<u>\$0</u>
<b>Increase LEA Reserved Appropriation:</b>		<u>\$0</u>
<b>Decrease LEA Reserved Appropriation:</b>		<u>\$0</u>
<b>Increase Project Allocation:</b>		<u>\$0</u>

<b><u>Contract #</u></b>	<b><u>Contractor</u></b>	<b><u>Total Contract</u></b>
1	Arks System	<u>\$35,716</u>
		<u><b>\$35,716</b></u>

**Notes:** (1) Replace 22 security cameras to the existing video surveillance system. (2) Eligible for funding available within FY 2021 SSGP allocation for LEA at time of reimbursement request. (3) Base bid of contract is \$174,902 to be split among Easton High PSC#20.002.21 SSGP, St. Michaels E PSC# 20.001.21 SSGP, St. Michaels M/H PSC# 20.008.21 SSGP, Tilgman E. PSC# 20.009.21 SSGP.

**IAC Approval Date:**

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## APPROVAL OF CONTRACTS

LEA: Talbot County

PSC No. 20.002.21 SSGP

Project Name: Easton High School

Bid Opening: 02/22/22

Project Type: Video Surveillance System

Scope of Work: Replace video surveillance system.

Basis for Award of Contract: base bid

Basis of Funding: 100% of eligible Base Bid

Local Funds: \$0

State Funds: \$67,084

Total Contract: \$67,084

### State Contingency for Change Orders:

Transfer State Funds:	Account No.	Amount
Decrease Project Allocation:		<u>\$0</u>
Increase LEA Reserved Appropriation:		<u>\$0</u>
Decrease LEA Reserved Appropriation:		<u>\$0</u>
Increase Project Allocation:		<u>\$0</u>

<u>Contract #</u>	<u>Contractor</u>	<u>Total Contract</u>
1	Arks System	<u>\$67,084</u>
		<u><b>\$67,084</b></u>

**Notes:** 1) Replace 31 (exterior and interior) security cameras to the existing video surveillance system.(2) Eligible for funding available within FY 2021 SSGP allocation for LEA at time of reimbursement request.(3) Base bid of contract is \$174,902 to be split among Easton High PSC#20.002.21 SSGP, St. Michaels E/M PSC# 20.001.21 SSGP, St. Michaels M/H PSC# 20.008.21 SSGP, Tilgman E. PSC# 20.009.21 SSGP.

IAC Approval Date: \_\_\_\_\_

## APPROVAL OF CONTRACTS

LEA: Talbot County

PSC No. 20.008.21 SSGP

Project Name: St. Michael's Middle/High School

Bid Opening: 02/22/22

Project Type: Video Surveillance System

Scope of Work: Replace 13 security cameras

Basis for Award of Contract: Base bid

Basis of Funding: 100% of eligible Base Bid

Local Funds: \$0

State Funds: \$29,193

Total Contract: \$29,193

### State Contingency for Change Orders:

Transfer State Funds:	Account No.	Amount
Decrease Project Allocation:		<u>\$0</u>
Increase LEA Reserved Appropriation:		<u>\$0</u>
Decrease LEA Reserved Appropriation:		<u>\$0</u>
Increase Project Allocation:		<u>\$0</u>

<u>Contract #</u>	<u>Contractor</u>	<u>Total Contract</u>
1	Arks System	<u>\$29,193</u>
		<u><b>\$29,193</b></u>

**Notes:** (1) Replace 13 security cameras associated with the existing video surveillance system.(2) Eligible for funding available within FY 2021 SSGP allocation for LEA at time of reimbursement request.(3) Base bid of contract is \$174,902 to be split among Easton High PSC#20.002.21 SSGP, St. Michaels E/M PSC# 20.001.21 SSGP, St. Michaels M/H PSC#, 20.008.21 SSGP, Tilghman E. PSC# 20.009.21 SSGP.

IAC Approval Date: \_\_\_\_\_

## APPROVAL OF CONTRACTS

LEA: Talbot County

PSC No. 20.009.21 SSGP

Project Name: Tilghman Elementary School

Bid Opening: 02/22/2022

Project Type: Systemic Renovation

Scope of Work: Replace video surveillance system.

Basis for Award of Contract: Base bid

Basis of Funding: 100% of eligible Base Bid

Local Funds: \$0

State Funds: \$42,909

Total Contract: \$42,909

### State Contingency for Change Orders:

Transfer State Funds:	Account No.	Amount
Decrease Project Allocation:		<u>\$0</u>
Increase LEA Reserved Appropriation:		<u>\$0</u>
Decrease LEA Reserved Appropriation:		<u>\$0</u>
Increase Project Allocation:		<u>\$0</u>

<u>Contract #</u>	<u>Contractor</u>	<u>Total Contract</u>
1	Arks System	<u>\$42,909</u>
		<u><b>\$42,909</b></u>

**Notes:** (1) Replace 17 (exterior and interior) security cameras associated with the existing video surveillance system. 2) Eligible for funding available within FY 2021 SSGP allocation for LEA at time of reimbursement request.(3) Base bid of contract is \$174,902 to be split among Easton High PSC#20.002.21 SSGP, St. Michaels E PSC# 20.001.21 SSGP, St. Michaels M/H PSC#20.008.21 SSGP, Tilghman PSC# 20.009.21 SSGP.

IAC Approval Date: \_\_\_\_\_

Appendix Item A

**TALBOT COUNTY PUBLIC SCHOOLS  
FEE PROPOSAL FORM**

**REQUEST FOR PROPOSAL #22.0114  
SECURITY VIDEO CAMERAS  
REPLACEMENT AND ADDITION IN MULTIPLE BUILDINGS**

THIS FORM MUST BE COMPLETED, SIGNED AND RETURNED AS DESCRIBED IN THE SOLICITATION DOCUMENT. THE CONTRACTOR AGREES TO PERFORM ALL WORK AS SET FORTH IN THIS REQUEST FOR PROPOSAL, AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS AT THE PRICES QUOTED ON THIS FORM.

*The sum of the "LABOR COST" and "EQUIPMENT COST" should be equal to the "TOTAL COST" for each project.*

<u>ITEM</u>	<u>DESCRIPTION</u>	<u>TOTAL COST:</u>
Project 1:	Easton High School	\$ 67,084.00
	LABOR COST: \$18,162.05	
	EQUIPMENT COST: \$48,921.95 (to include warranty & support costs)	
Project 2:	St. Michaels Elementary/Middle School	\$ 35,716.00
	LABOR COST: \$11,548.70	
	EQUIPMENT COST: \$24,167.30 (to include warranty & support costs)	
Project 3:	St. Michaels High School	\$ 29,193.00
	LABOR COST: \$8,638.24	
	EQUIPMENT COST: \$20,554.76 (to include warranty & support costs)	
Project 4:	Tilghman Elementary School	\$ 42,909.00
	LABOR COST: \$12,969.01	
	EQUIPMENT COST: \$29,939.99 (to include warranty & support costs)	
<b>Total Cost (Sum of Items 1-4)</b>		<b>\$ 174,902.00</b>

**SIGNATURE OF AUTHORIZED RESPONDENT:** 

\*\*\* RETURN THIS FORM AS PART OF THE ORIGINAL PROPOSAL \*\*\*

Note: The costs provided shall be inclusive of all profit, fees, travel expenses, and all other expenditures.  
No additional payment will be made for related expenses or miscellaneous costs.

## **APPROVAL OF CONTRACTS**

**LEA:** Washington County

**PSC No.** 21.123.22 SR

**Project Name:** Washington County Technical High School

**Bid Opening:** 02/23/22

**Project Type:** SR

**Scope of Work:** Electrical upgrades

**Basis for Award of Contract:** Base Bid

**Basis of Funding:** 79% of eligible base bid, up to maximum allocation

**Local Funds:** \$1,497,000

**State Funds:** \$593,000

**Total Contract:** \$2,090,000

### **State Contingency for Change Orders:**

<b>Transfer State Funds:</b>	<b>Account No.</b>	<b>Amount</b>
<b>Decrease Project Allocation:</b>		<u>\$0</u>
<b>Increase LEA Reserved Appropriation:</b>		<u>\$0</u>
<b>Decrease LEA Reserved Appropriation:</b>		<u>\$0</u>
<b>Increase Project Allocation:</b>		<u>\$0</u>

<b><u>Contract #</u></b>	<b><u>Contractor</u></b>	<b><u>Total Contract</u></b>
	Warner Construction, RW Warner Inc	<u>\$2,090,000</u>
		<b><u>\$2,090,000</u></b>

**Notes:** 1) Replace the electrical distribution system.(2) Prevailing wage rates apply to this contract.(3) All change orders are local responsibility; change orders are not required to be submitted to the State for review.(4) Final State funding is evaluated at time of project Close-Out.

**IAC Approval Date:**

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**Bid 2022-33 Electrical Upgrades at  
Washington County Technical High School**

	<b>Milton Stamper Builders</b>	<b>Warner Construction</b>
Base Bid	\$ 2,274,000.00	\$ 2,090,000.00
Acknowledgement of Addenda	✓	✓
Bid Affidavit	✓	✓

## APPROVAL OF CONTRACTS

LEA: Baltimore City

PSC No. 30.095.22 HSFF

Project Name: Glenmount Pk-8

Bid Opening:

Project Type: Design Project

Scope of Work: Roof Design Fees

Basis for Award of Contract: On call Architectural Services

Basis of Funding: 100% of eligible proposal.

Local Funds: \$5,808

State Funds: \$139,385

Total Contract: \$145,193

### State Contingency for Change Orders:

Transfer State Funds:	Account No.	Amount
Decrease Project Allocation:		<u>\$0</u>
Increase LEA Reserved Appropriation:		<u>\$0</u>
Decrease LEA Reserved Appropriation:		<u>\$0</u>
Increase Project Allocation:		<u>\$0</u>

<u>Contract #</u>	<u>Contractor</u>	<u>Total Contract</u>
	Waldon Studio Architects	<u>\$145,193</u>
		<u><b>\$145,193</b></u>

**Notes:** (1) Replace the entire approximately 42,600 square foot roof for this building.(2) Eligible for funding available within FY 2022 HSFF allocation for LEA at time of reimbursement request.

**IAC Approval Date:**

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## V. DESIGN TEAM COMPENSATION

A. For the Scope of Services described above, the fee shall be billed monthly as follows:

### Glenmount PreK - 8th Grade School Roof Replacement

	60%	95%	100%	Permit / Bid	CA	Reimburs.	TOTAL DESIGN	MBE%	
Architect	\$17,050.00	\$33,200.00	\$9,875.00	\$2,870.00	\$9,515.00		\$72,510.00		
Structural Engineer	\$12,270.00	\$9,170.00	\$5,313.46	\$740.00	\$1,220.00	\$144.60	\$28,858.06	WBE	19.9%
MEP Engineer	\$7,000.00	\$11,000.00	\$2,800.00	\$500.00	\$3,500.00	\$200.00	\$25,000.00	MBE	17.2%
Cost Estimator	\$7,925.00	\$5,975.00	\$2,925.00	\$0.00	\$0.00	\$0.00	\$16,825.00	MBE	11.6%
Permit Allowance				\$1,000.00			\$1,000.00		
Arch printing Allowance	\$150.00	\$150.00	\$400.00				\$700.00		
Arch Gas Mileage Allowance	\$100.00	\$100.00	\$100.00				\$300.00		
TOTAL FOR Glenmount	\$44,495.00	\$59,595.00	\$21,413.46	\$5,110.00	\$14,235.00	\$344.60	\$145,193.06		48.68%

## VI. ADDITIONAL SERVICES

If requested and authorized by Client, Architect will provide Additional Services for the Project. Any service not specifically included in the Scope of Services above is considered an additional service. Additional services include, but are not limited to, the following:

### A. Other Additional Services

1. More meetings than those listed above.
2. Replacement of the cupola beyond repairs and replacement of roofs & balusters
3. Meetings & Forms for the Maryland Historic Trust or Baltimore City Commission for Historical and Architectural Preservation (CHAP) review board beyond the initial MHT DOES Project Review Form.
4. New HVAC design – MEP is replacing equipment in kind.
5. Revising documents inconsistent with approvals or instructions previously given by Client, including changes in Client's budget

## APPROVAL OF CONTRACTS

LEA: Baltimore City

PSC No. 30.242.22 ASP

Project Name: #029 Matthew A. Henson Elementary

Bid Opening: 11/17/21

Project Type: Asphalt/Concrete Replacment

Scope of Work: Replace drain tile.

Basis for Award of Contract: base bid

Basis of Funding: 100% of eligible quote

Local Funds: \$0

State Funds: \$158,500

Total Contract: \$158,500

### State Contingency for Change Orders:

Transfer State Funds:	Account No.	Amount
Decrease Project Allocation:		<u>\$0</u>
Increase LEA Reserved Appropriation:		<u>\$0</u>
Decrease LEA Reserved Appropriation:		<u>\$0</u>
Increase Project Allocation:		<u>\$0</u>

<u>Contract #</u>	<u>Contractor</u>	<u>Total Contract</u>
	Denver Elek	<u>\$158,500</u>
		<u><b>\$158,500</b></u>

**Notes:** (1) Replace existing drain tile.(2) Eligible for funding available within FY 2022 ASP allocation for LEA at time of reimbursement request.

**IAC Approval Date:**

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2444 LOCH RAVEN ROAD | BALTIMORE, MD 21218  
**Telephone** 410-467-5900 | **Facsimile** 410-467-3127  
[www.pflanigan.com](http://www.pflanigan.com)



<b>To:</b>	Baltimore City Public Schools	<b>Contact:</b>	Blaine Lipski
<b>Address:</b>	200 East North Avenue Baltimore, MD 21202	<b>Phone:</b>	
<b>Project Name:</b>	BCPS 29 Matthew Henson	<b>Fax:</b>	
<b>Project Location:</b>	1600 N. Payson Street, Baltimore, MD	<b>Bid Number:</b>	
<b>Attachments:</b>	Matthew Henson Proposal 2 with T&M Backup.pdf	<b>Bid Date:</b>	11/17/2021

We are pleased to present our proposal for the above referenced project as follows:

Item #	Item Description	Estimated Quantity	Unit	Unit Price	Total Price
100 (T&M Ticket)	Mobilization / General Conditions (T&M See Attached Backup) * Private Utility Locator * Equipment Moves * Spot O Pot	1.00	LS	\$3,500.00	\$3,500.00
200	Removal Of Existing Pavement & Base Material (1,983 SY) (T&M See Attached Backup) * Removal Of Entire Lot Of Existing Material For Total Reconstruction	685.00	CY	\$43.00	\$29,455.00
201	Fine Grading & Stone Placement 6" (T&M See Attached Backup)	1,983.00	SY	\$15.00	\$29,745.00
300	Type A Curb - 20' LF	20.00	LF	\$35.00	\$700.00
400	7" Driveway Apron	150.00	SF	\$13.50	\$2,025.00
401	Dumpster Pad - 12'x12'	145.00	SF	\$15.00	\$2,175.00
402	8" Concrete Drive Lane (T&M See Attached Backup)	3,200.00	SF	\$12.50	\$40,000.00
500	4" - 19mm HMA Base	1,600.00	SY	\$18.00	\$28,800.00
600	2" - 12.5mm HMA Surface	1,600.00	SY	\$12.50	\$20,000.00
700	Bituminous Curb	70.00	LF	\$12.00	\$840.00
800	Pavement Markings * Approx 47 Regular Car Spaces * 1 New Handicap Space * 4 - 5' X 18' Hatch Spaces * 1 - 18' X 9.5' Hatch Space * 16' X 11" Hatch Space * 26' X 15' Hatch Area  ** ADD \$600 If 2 Coats Of Paint Is Requested**	1.00	LS	\$1,260.00	\$1,260.00

**Total Bid Price: \$158,500.00**

**Notes:**

- Price excludes the following: Cost of Bonds; Permits
- Estimate Prepared By: Kevin Shields
- This proposal is contingent upon entering a mutually acceptable contract agreement and must be incorporated into the contract.
- This proposal will expire if not accepted within thirty (30) days.
- This proposal, including all exclusions and notes stated, shall be attached to and become part of the subcontract agreement and shall take precedence over any conflicting statements or conditions.
- Price excludes the obtaining and the cost to obtain any and all permits. This includes, but is not limited to, grading permits, environmental permits, right-of-way permits and traffic permits. All permits are the responsibility of the owner or their authorized representative.

**Payment Terms:**

Payment due within 30 days of date of invoice, regardless of when payment is made by Owner. Balances unpaid beyond 30 days from date of invoice will be charged interest at a rate of 1.5% per month until all balances are paid.

**Item 1C. Project Allocation Reversions**

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**Motion:**

To approve the reversion of the amounts identified below to the appropriate statewide contingency accounts.

**Background Information:**

The project listed below is ready to be closed out but has a balance refund. In order to fully close the project, IAC staff recommends that the IAC approve the reversion as identified below:

<b><u>Project Name</u></b>	<b><u>Project Number</u></b>	<b><u>Amount</u></b>
<b><u>Howard County</u></b>		
Harpers Choice MS SR - Roof	13.003.19	\$ 7,373
<b>Refund Total</b>		<b>\$ 7,373</b>



## Item 1D. Project Closeouts

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### **Motion:**

To approve the final State project costs as presented and to remove the projects from the active project detailed financial report.

### **Background Information:**

The projects identified in the attached report are complete and reimbursed. IAC staff recommends that the IAC approve the final State allocation, contract, and expenditure amounts as presented. This action by the IAC allows the projects to be removed from the active project detailed financial reports.



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PSC - #PID	PROJECT TYPE	IAC DATE			% CONTRACTED	% EXPENDED	CONTRACT	OF LAST			SINCE DATE OF							
Anne Arundel County																		
Annapolis High - C-Addition		2012	\$4,802,822	\$0	\$4,802,822	100%	\$4,802,822	100%	\$-	\$-	08/2014	06/2016	71	<div><div></div><div></div><div></div><div></div></div>				
02.030.2012SA -#7,892		11/2013																
◆IAC received Form 306.6 Closeout summary on 09/29/20, pending staff action.																		
Marley Elementary - C-Addition		2018 LP	\$888,000	\$0	\$888,000	100%	\$888,000	100%	\$-	\$-	08/2018	03/2019	38	<div><div></div><div></div><div></div><div></div></div>				
02.079.2018/2019 -#9,792		2018, 2019																
◆IAC received Form 306.6 Closeout summary on 05/06/21, pending staff action.																		
2 Active Projects		Anne Arundel County Total		\$5,690,822	\$0	\$5,690,822	\$5,690,822	\$0	\$0	2 Projects ready to Close								

**Project Status:**  
● LP Approved ● Project Allocated ● Project contracted ● Project Expended ● Project %Contracted and %Expended =100%, Months since last expenditure is greater than 12. Submission of Form 306.6 is due.



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PROJECT NAME PSC - #PID	PROJECT TYPE	CIP YEAR(S) IAC DATE	ALLOCATION	CONTINGENCY	CONTRACTED/ % CONTRACTED	EXPENDITURES/ % EXPENDED	UNCONTRACTED ALLOCATION	UNEXPENDED CONTRACT	DATE OF LAST CONTRACT ACTION	# OF MONTHS SINCE DATE OF LAST EXPENDITURE	PROJECT STATUS
Baltimore County											
Battle Grove Elementary - SR-Boiler 03.116.2019EGRC -#9,982		2019 07/2018	\$121,464	\$0	\$121,464 100%	\$121,464 100%	\$-	\$-	02/2019	07/2021 10	<div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 08/04/21, pending staff action.											
Edmondson Heights Elementary - SR-Air Conditioning 03.101.2016EGRC -#9,587		2017 07/2016	\$1,532,700	\$0	\$1,532,700 100%	\$1,532,700 100%	\$-	\$-	12/2016	10/2018 43	<div><div></div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 04/29/21, pending staff action.											
Featherbed Lane Elementary - SR-Boiler 03.102.2019EGRC -#9,983		2019 07/2018	\$138,139	\$0	\$138,139 100%	\$138,139 100%	\$-	\$-	02/2019	11/2019 30	<div><div></div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 05/10/21, pending staff action.											
Grange Elementary - SR-Air Conditioning 03.156.2014ACI/2017 -#9,590		2017 07/2016	\$1,881,360	\$0	\$1,881,360 100%	\$1,881,360 100%	\$-	\$-	03/2017	12/2017 53	<div><div></div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 06/30/21, pending staff action.											
Hawthorne Elementary - SR-Air Conditioning 03.152.2014ACI -#9,175		2014 09/2013	\$1,242,500	\$0	\$1,242,500 100%	\$1,242,500 100%	\$-	\$-	08/2015	02/2017 63	<div><div></div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 12/07/21, pending staff action.											
McCormick Elementary - SR-Chiller 03.191.2019EGRC -#9,984		2019 07/2018	\$429,182	\$0	\$429,182 100%	\$429,182 100%	\$-	\$-	03/2019	05/2020 24	<div><div></div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 06/14/21, pending staff action.											
Reisterstown Elementary - SR-Air Conditioning 03.106.2018/2018EGRC -#9,808		2018 07/2017	\$1,734,980	\$0	\$1,734,980 100%	\$1,734,980 100%	\$-	\$-	08/2017	02/2020 27	<div><div></div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 03/04/20, pending staff action.											
7 Active Projects	Baltimore County Total		\$7,080,325	\$0	\$7,080,325	\$7,080,325	\$0	\$0	7 Projects ready to Close		

Project Status:

LP Approved  Project Allocated  Project contracted  Project Expended  Project %Contracted and %Expended =100%, Months since last expenditure is greater than 12. Submission of Form 306.6 is due.





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PSC - #PID	PROJECT TYPE	IAC DATE			% CONTRACTED	% EXPENDED	CONTRACT	LAST			SINCE DATE OF							
Frederick County																		
Governor Thomas Johnson High - SR-Roof		2021	\$368,898	\$0	\$368,898	100%	\$368,898	100%	\$-	\$-	04/2022	01/2022	4	<div><div></div><div></div><div></div></div>				
10.057.2021EGRC -#10,256		06/2020	◆IAC received Form 306.6 Closeout summary on 12/09/21, pending staff action.															
1 Active Projects		Frederick County Total	\$368,898	\$0	\$368,898		\$368,898		\$0	\$0	1 Projects ready to Close							

**Project Status:**  
● LP Approved ● Project Allocated ● Project contracted ● Project Expended ● Project %Contracted and %Expended =100%, Months since last expenditure is greater than 12. Submission of Form 306.6 is due.



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PSC - #PID	PROJECT TYPE	IAC DATE			% CONTRACTED	% EXPENDED	CONTRACT	OF LAST			SINCE DATE OF							
Garrett County																		
Southern High - SR-Fire Safety		2020	\$300,750	\$0	\$300,750	100%	\$300,750	100%	\$-	\$-	06/2019	06/2021	11	<div><div></div><div></div><div></div></div>				
11.005.2018/2020 -#10,088		06/2019																
◆IAC received Form 306.6 Closeout summary on 12/08/20, pending staff action.																		
Southern High - SR-Building Envelope		2021	\$983,700	\$0	\$983,700	100%	\$983,700	100%	\$-	\$-	01/2021	06/2021	11	<div><div></div><div></div><div></div></div>				
11.005.2012SA/2014/2021 -#10,199		06/2020																
◆IAC received Form 306.6 Closeout summary on 12/08/20, pending staff action.																		
2 Active Projects		Garrett County Total		\$1,284,450	\$0	\$1,284,450	\$1,284,450	\$0	\$0	2 Projects ready to Close								

**Project Status:**  
● LP Approved ● Project Allocated ● Project contracted ● Project Expended ● Project %Contracted and %Expended =100%, Months since last expenditure is greater than 12. Submission of Form 306.6 is due.



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PSC - #PID	PROJECT TYPE	IAC DATE			% CONTRACTED	% EXPENDED	CONTRACT	OF LAST			SINCE DATE OF							
Harford County																		
Hickory Elementary - SR-Roof		2020, 2021	\$805,626	\$0	\$805,626	100%	\$805,626	100%	\$-	\$-	06/2020	11/2020	18	<div><div></div><div></div><div></div><div></div></div>				
12.041.2020/2021 -#10,091		07/2019	◆IAC received Form 306.6 Closeout summary on 11/15/21, pending staff action.															
1 Active Projects		Harford County Total	\$805,626	\$0	\$805,626		\$805,626		\$0	\$0	1 Projects ready to Close							

**Project Status:**  
● LP Approved ● Project Allocated ● Project contracted ● Project Expended ● Project %Contracted and %Expended =100%, Months since last expenditure is greater than 12. Submission of Form 306.6 is due.



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Montgomery County											
Dr. Martin Luther King, Jr. Middle - SR-Roof 15.198.2020/2020EGRC -#10,103		2020 07/2019	\$333,660	\$0	\$333,660 100%	\$333,660 100%	\$-	\$-	05/2021	09/2021	8 ●●●
◆IAC received Form 306.6 Closeout summary on 03/08/22, pending staff action.											
Stone Mill Elementary - SR-HVAC 15.157.2018 -#9,831		2018 07/2017	\$519,000	\$0	\$519,000 100%	\$519,000 100%	\$-	\$-	05/2019	08/2019	33 ●●●●
◆IAC received Form 306.6 Closeout summary on 11/12/20, pending staff action.											
2 Active Projects	Montgomery County Total		\$852,660	\$0	\$852,660	\$852,660	\$0	\$0	2 Projects ready to Close		

**Project Status:**  
● LP Approved ● Project Allocated ● Project contracted ● Project Expended ● Project %Contracted and %Expended =100%, Months since last expenditure is greater than 12. Submission of Form 306.6 is due.



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Prince George's County											
Beacon Heights Elementary - SR-Boiler 16.189.2013 -#7,981		2013 07/2012	\$306,000	\$0	\$306,000 100%	\$306,000 100%	\$-	\$-	05/2014	10/2015 79	<div><div></div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 11/15/21, pending staff action.											
Beltsville Academy - SR-Elevator 16.115.2016EGRC -#9,727		2017 07/2016	\$52,201	\$0	\$52,201 100%	\$52,201 100%	\$-	\$-	05/2017	07/2019 34	<div><div></div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 12/02/21, pending staff action.											
Bowie High - SR-Fire Safety 16.089.2013 -#8,416		2013 07/2012	\$139,000	\$0	\$139,000 100%	\$139,000 100%	\$-	\$-	05/2014	10/2015 79	<div><div></div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 03/08/21, pending staff action.											
Catherine T. Reed Elementary - SR-HVAC 16.144.2013 -#8,422		2013 07/2012	\$611,000	\$0	\$611,000 100%	\$611,000 100%	\$-	\$-	05/2014	10/2015 79	<div><div></div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 04/22/21, pending staff action.											
Charles Carroll Middle - SR-Ceilings 16.110.2016 -#9,517		2016 07/2015	\$283,122	\$0	\$283,122 100%	\$283,122 100%	\$-	\$-	05/2017	01/2018 52	<div><div></div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 12/02/21, pending staff action.											
Columbia Park Elementary - SR-Unit Ventilators (UV) 16.147.2013 -#8,431		2013 07/2012	\$404,252	\$0	\$404,252 100%	\$404,252 100%	\$-	\$-	05/2014	12/2016 65	<div><div></div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 04/22/21, pending staff action.											
Crossland High - SR-Mechanical 16.033.2013 -#7,970		2013 07/2012	\$1,223,000	\$0	\$1,223,000 100%	\$1,223,000 100%	\$-	\$-	05/2014	10/2015 79	<div><div></div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 11/16/21, pending staff action.											
Duval High - SR-Air Conditioning 16.194.2014ACI -#9,180		2014 09/2013	\$129,000	\$0	\$129,000 100%	\$129,000 100%	\$-	\$-	05/2015	01/2019 40	<div><div></div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 12/02/21, pending staff action.											

Project Status:

● LP Approved ● Project Allocated ● Project contracted ● Project Expended ● Project %Contracted and %Expended =100%, Months since last expenditure is greater than 12. Submission of Form 306.6 is due.



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Prince George's County											
Glenn Dale Elementary - SR-Piping 16.202.2014 -#9,143		2014 07/2013	\$318,525	\$0	\$318,525 100%	\$318,525 100%	\$-	\$-	05/2015	11/2017	54 <div><div></div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 03/09/21, pending staff action.											
Heather Hills Elementary - SR-Boiler 16.132.2014 -#8,989		2014 07/2013	\$290,906	\$0	\$290,906 100%	\$290,906 100%	\$-	\$-	05/2015	10/2017	55 <div><div></div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 11/15/21, pending staff action.											
High Point High - SR-Fire Safety 16.085.2013 -#8,413		2013 07/2012	\$139,000	\$0	\$139,000 100%	\$139,000 100%	\$-	\$-	05/2014	06/2013	107 <div><div></div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 04/22/21, pending staff action.											
High Point High - SR-Air Conditioning 16.085.2014ACI -#9,181		2014 09/2013	\$291,000	\$0	\$291,000 100%	\$291,000 100%	\$-	\$-	05/2015	10/2016	67 <div><div></div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 12/02/21, pending staff action.											
James R. Randall Elementary - SR-Piping 16.084.2014 -#8,993		2014 07/2013	\$264,579	\$0	\$264,579 100%	\$264,579 100%	\$-	\$-	05/2015	11/2017	54 <div><div></div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 12/02/21, pending staff action.											
Kenilworth Elementary - SR-Piping 16.195.2014 -#8,994		2014 07/2013	\$327,982	\$0	\$327,982 100%	\$327,982 100%	\$-	\$-	05/2015	11/2016	66 <div><div></div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 11/15/21, pending staff action.											
Laurel High - SR-Fire Safety 16.014.2013 -#7,982		2013 07/2012	\$153,000	\$0	\$153,000 100%	\$153,000 100%	\$-	\$-	05/2014	10/2015	79 <div><div></div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 04/22/21, pending staff action.											
Lewisdale Elementary - SR-Fan Coil Units 16.049.2017 -#9,659		2017 07/2016	\$517,000	\$0	\$517,000 100%	\$517,000 100%	\$-	\$-	03/2018	11/2019	30 <div><div></div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 12/02/21, pending staff action.											

Project Status:

LP Approved  Project Allocated  Project contracted  Project Expended  Project %Contracted and %Expended =100%, Months since last expenditure is greater than 12. Submission of Form 306.6 is due.



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Prince George's County											
Nicholas Orem Middle - SR-Roof 16.124.2015 -#9,244		2015 07/2014	\$982,000	\$0	\$982,000 100%	\$982,000 100%	\$-	\$-	06/2016	01/2018 52	<div><div></div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 04/22/21, pending staff action.											
Springhill Lake Elementary - SR-Piping 16.075.2014 -#8,998		2014 07/2013	\$381,775	\$0	\$381,775 100%	\$381,775 100%	\$-	\$-	05/2015	11/2016 66	<div><div></div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 03/09/21, pending staff action.											
Templeton Elementary - SR-Piping 16.155.2014 -#9,142		2014 07/2013	\$433,930	\$0	\$433,930 100%	\$433,930 100%	\$-	\$-	05/2015	11/2016 66	<div><div></div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 03/12/21, pending staff action.											
Thurgood Marshall Middle - SR-Piping 16.156.2014 -#9,001		2014 07/2013	\$407,960	\$0	\$407,960 100%	\$407,960 100%	\$-	\$-	05/2015	12/2016 65	<div><div></div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 11/15/21, pending staff action.											
Thurgood Marshall Middle - SR-Air Conditioning 16.156.2014ACI -#9,185		2014 09/2013	\$129,000	\$0	\$129,000 100%	\$129,000 100%	\$-	\$-	05/2015	10/2017 55	<div><div></div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 12/02/21, pending staff action.											
21 Active Projects	Prince George's County Total		\$7,784,232	\$0	\$7,784,232	\$7,784,232	\$0	\$0	21 Projects ready to Close		

Project Status:

LP Approved  Project Allocated  Project contracted  Project Expended  Project %Contracted and %Expended =100%, Months since last expenditure is greater than 12. Submission of Form 306.6 is due.





INTERAGENCY COMMISSION ON SCHOOL CONSTRUCTION (IAC)  
PUBLIC SCHOOL CONSTRUCTION PROGRAM  
REPORT OF ACTIVE STATE CIP PROJECTS FOR CLOSEOUT  
As of May 03, 2022

PROJECT NAME		CIP YEAR(S)	ALLOCATION	CONTINGENCY	CONTRACTED/		EXPENDITURES/		UNCONTRACTED	UNEXPENDED	DATE	# OF MONTHS	PROJECT					
PSC - #PID	PROJECT TYPE	IAC DATE			% CONTRACTED	% EXPENDED	% ALLOCATION	% CONTRACT			OF LAST	SINCE DATE OF						
Washington County																		
Boonsboro Middle - SR-Roof		2016	\$1,276,000	\$0	\$1,276,000	100%	\$1,276,000	100%	\$-	\$-	05/2016	08/2016	69	<div><div></div><div></div><div></div><div></div></div>				
21.010.2016 -#9,444		07/2015																
◆IAC received Form 306.6 Closeout summary on 10/22/21, pending staff action.																		
Fountain Rock Elementary - SR-Roof		2016	\$401,000	\$0	\$401,000	100%	\$401,000	100%	\$-	\$-	05/2016	08/2016	69	<div><div></div><div></div><div></div><div></div></div>				
21.043.2016 -#9,446		07/2015																
◆IAC received Form 306.6 Closeout summary on 10/22/21, pending staff action.																		
2 Active Projects		Washington County Total		\$1,677,000	\$0	\$1,677,000	\$1,677,000		\$0	\$0	2 Projects ready to Close							

**Project Status:**  
● LP Approved ● Project Allocated ● Project contracted ● Project Expended ● Project %Contracted and %Expended =100%, Months since last expenditure is greater than 12. Submission of Form 306.6 is due.



INTERAGENCY COMMISSION ON SCHOOL CONSTRUCTION (IAC)  
PUBLIC SCHOOL CONSTRUCTION PROGRAM  
REPORT OF ACTIVE STATE CIP PROJECTS FOR CLOSEOUT  
As of May 03, 2022

PROJECT NAME PSC - #PID	PROJECT TYPE	CIP YEAR(S) IAC DATE	ALLOCATION	CONTINGENCY	CONTRACTED/ % CONTRACTED	EXPENDITURES/ % EXPENDED	UNCONTRACTED ALLOCATION	UNEXPENDED CONTRACT	DATE OF LAST CONTRACT ACTION	# OF MONTHS SINCE DATE OF LAST EXPENDITURE	PROJECT STATUS
Wicomico County											
Glen Avenue Elementary - SR-Roof 22.010.2019 -#10,034		2019 01/1900	\$1,610,953	\$0	\$1,610,953 100%	\$1,610,953 100%	\$-	\$-	04/2022	01/2020 28	<div><div></div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 03/03/20, pending staff action.											
Parkside High - SR-Mechanical/HVAC 22.001.2014/2014ACI/2016/2017/2018 -#9,448		2016, 2017, 2018 07/2015	\$9,340,000	\$0	\$9,340,000 100%	\$9,340,000 100%	\$-	\$-	07/2017	11/2019 30	<div><div></div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 03/03/22, pending staff action.											
Parkside High - SR-Ceilings 22.001.2017/2018 -#9,676		2017, 2018 07/2016	\$4,455,000	\$0	\$4,455,000 100%	\$4,455,000 100%	\$-	\$-	07/2017	06/2019 35	<div><div></div><div></div><div></div><div></div></div>
◆IAC received Form 306.6 Closeout summary on 03/03/22, pending staff action.											
3 Active Projects	Wicomico County Total		\$15,405,953	\$0	\$15,405,953	\$15,405,953	\$0	\$0	3 Projects ready to Close		

**Project Status:**  
● LP Approved ● Project Allocated ● Project contracted ● Project Expended ● Project %Contracted and %Expended =100%, Months since last expenditure is greater than 12. Submission of Form 306.6 is due.



INTERAGENCY COMMISSION ON SCHOOL CONSTRUCTION (IAC)  
PUBLIC SCHOOL CONSTRUCTION PROGRAM  
REPORT OF ACTIVE STATE CIP PROJECTS FOR CLOSEOUT  
As of May 03, 2022

PROJECT NAME		CIP YEAR(S)	ALLOCATION	CONTINGENCY	CONTRACTED/		EXPENDITURES/		UNCONTRACTED	UNEXPENDED	DATE	# OF MONTHS	PROJECT					
PSC - #PID	PROJECT TYPE	IAC DATE			% CONTRACTED	% EXPENDED	CONTRACT	OF LAST			SINCE DATE OF							
Baltimore City																		
#095 Franklin Square PK-8 - SR-Fire Safety		2015	\$233,430	\$0	\$233,430	100%	\$233,430	100%	\$-	\$-	06/2016	02/2018	51	<div><div></div><div></div><div></div><div></div></div>				
30.243.2015 -#9,277		07/2014																
◆IAC received Form 306.6 Closeout summary on 01/20/22, pending staff action.																		
#261 Lockerman-Bundy Elementary - SR-Hot Water Heater		2019	\$40,277	\$0	\$40,277	100%	\$40,277	100%	\$-	\$-	04/2022	02/2021	15	<div><div></div><div></div><div></div><div></div></div>				
30.067.2019BC HVAC -#10,152		02/2019																
◆IAC received Form 306.6 Closeout summary on 03/11/22, pending staff action.																		
2 Active Projects		Baltimore City Total		\$273,707	\$0	\$273,707	\$273,707	\$0	\$0	2 Projects ready to Close								

**Project Status:**  
● LP Approved ● Project Allocated ● Project contracted ● Project Expended ● Project %Contracted and %Expended =100%, Months since last expenditure is greater than 12. Submission of Form 306.6 is due.



INTERAGENCY COMMISSION ON SCHOOL CONSTRUCTION (IAC)  
PUBLIC SCHOOL CONSTRUCTION PROGRAM  
REPORT OF ACTIVE STATE CIP PROJECTS FOR CLOSEOUT  
As of May 03, 2022

SUMMARY OF STATEWIDE TOTALS

	ALLOCATION	CONTINGENCY	CONTRACTED/ % CONTRACTED	EXPENDITURES/ % EXPENDED	UNCONTRACTED ALLOCATION	UNEXPENDED ALLOCATION	DATE OF LAST CONTRACT ACTION	# OF MONTHS SINCE DATE OF LAST EXPENDITURE	PROJECT STATUS
43 Active Projects Statewide Totals	\$41,223,673	\$0	\$41,223,673	\$41,223,673	\$0	\$0		43 Projects Ready to Close	

This report includes by project the State portion of the allocation, contract and expenditures.  
The data is extracted from the Capital Financial Accounting System (CFAS).  
**Please report any discrepancies to:**  
iac.pscp@maryland.gov

**Project Status:**  
● LP Approved ● Project Allocated ● Project contracted ● Project Expended ● Project %Contracted and %Expended =100%, Months since last expenditure is greater than 12. Submission of Form 306.6 is due.

**Item 1E. Approval of Property Transfer – Washington County – Washington County Technical High School Land Swap**

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**Motion:**

To approve the transfer of 11,454 square feet of land (0.2629 acres), of the parcel containing Washington County Technical High School, at 50 West Oak Ridge Drive, Hagerstown, Maryland, 21740, from the Washington County Public Schools Board of Education (WCBOE) to the Washington County Commissioners, in exchange for 190,676 square feet, or 4.37 acres, of an adjacent county-owned parcel (Tax Map 314, Grid 14, Parcel 893), known as Doub's Woods Park, to the WCBOE for the construction of a Diesel Repair educational facility at the high school.

**Background Information:**

The Board of Education of Washington County seeks approval from the Interagency Commission on School Construction to transfer 11,454 square feet of land of the parcel containing Washington County Technical High School, in Hagerstown, to the Washington County Commissioners, in exchange for 190,676 square feet, or 4.37 acres, of an adjacent county-owned parcel, known as Doub's Woods Park, for the construction of a Diesel Repair Facility.

A very small portion of the county-owned parcel was occupied by a section of the high school's parking lot prior to the transfer. Staff from the school district have also mowed and maintained this property and will continue to do so.

The Washington County Board of Commissioners approved the transfer and exchange on December 7, 2021. The Hagerstown Planning Commission also approved the action in December 2021.

County officials are preparing the associated parcel boundary adjustments.

No funds are being exchanged as part of the transaction. The Diesel Repair Facility is expected to be completed for use in Fall 2022.



# Washington County B.O.C.C & Washington County B.O.E Land Swap





**Item 1F. Built to Learn Project Worksheets**

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**Motion:**

This item is informational and does not require IAC action.

**Background Information:**

On April 14, 2022, the IAC approved new and revised allocations for funding through the Built to Learn Program for a total of 4 projects; however, the computation worksheets used to calculate the Maximum State Funding Allocation for major construction projects were inadvertently excluded from the April meeting packet. Those worksheets are attached. \*As a general practice, IAC staff do not utilize the worksheets to determine the Maximum State Funding Allocation for Pre-Kindergarten/Kindergarten projects which is the case for the J.P. Ryon Elementary School project.

LEA	Project	Funding Source	BTL Allocation
Frederick	Green Valley ES	BTL	\$26,504,000
Frederick	Valley ES	BTL	\$27,009,000
Anne Arundel	West County ES	BTL	\$21,188,000
Charles*	JP Ryon ES	BTL	\$2,711,000



STATE OF MARYLAND - CAPITAL IMPROVEMENT PROGRAM / BUILT TO LEARN  
COMPUTATION SUPPLEMENTAL WORKSHEET  
For Estimating the State Allocation for FY 2023  
(Amounts rounded to the nearest 1,000)

PSC No.:	10.042		Priority #	(8) LP and (9) F
Project Type:	Replacement	Green Valley Elementary	BTL	X

GROSS AREA BASELINE in GSF	Educ. Type	Estimated Approved Projected Enrollment*	GSF per student**	Total GSF	Construction Cost	State Share
	Elementary	705 x	113.80 =	80,229		65%
	Special ED Elem	0 x	0 =	0		
				80,229		
GSF Above GAB			*	-		

Existing Facility GSF	51,888
Demolition of Existing GSF	(51,888)
Revised Existing Facility GSF	-
Eligible New GSF	80,229

ADDITION						
New GSF	80,229 x	358.00		28,722,000	18,669,000	
GSF Above GAB Per Statute	3,000	358.00		1,074,000	698,000	
Cooperative-Use Space (GSF)	x	358.00		0	0	
Site Development	x	19%		5,661,000	3,680,000	
Design Cost	x	10%		3,546,000	2,305,000	
Furniture and Fixtures	x	5%		1,773,000	1,152,000	
				40,776,000	26,504,000	

RENOVATION						
Age of Structure	Construction Year	GSF to be Renovated	GSF	Percentage to be Covered	Cost	
40 & older		0 x	358.00 x	100% =	0	
31-39		0 x	358.00 x	85% =	0	
26-30		0 x	358.00 x	75% =	0	
21-25		0 x	358.00 x	65% =	0	
16-20		0 x	358.00 x	50% =	0	
0-15		0 x	358.00 x	0% =	0	
		0			0	0
Cooperative-Use Space (GSF)	x	358.00			0	0
Site Development		5%			0	0
Design Cost		10%			0	0
Furniture, Fixtures and Equipment		5%			0	0
					0	0

TOTAL COST				40,776,000	26,504,000
Less Prior State Funds for Related Projects					
MAXIMUM STATE CONSTRUCTION ALLOCATION					26,504,000
Less CIP Allocations for the Project					
ADJUSTED MAXIMUM STATE CONSTRUCTION ALLOCATION					0
Less CIP Allocations for the Project					
BALANCE					26,504,000

Additional Notes:	Date Planning Approved:	2/22 - FY'23
The "Net State Funding" on this worksheet is an estimate of the maximum State allocation for this project, but may be reduced based on the costs of the approved contract(s), ineligible items, and change orders.	Date Revised:	02/10/22
Project consists of 83,678 sf new and demolition of the entire existing 51,888 sf facility per ED specifications.	Date of State Approval:	02/10/22





STATE OF MARYLAND - CAPITAL IMPROVEMENT PROGRAM / BUILT TO LEARN  
COMPUTATION SUPPLEMENTAL WORKSHEET  
For Estimating the State Allocation for FY 2023  
(Amounts rounded to the nearest 1,000)

PSC No.:	10.018		Priority #	(10) LP and (11) F				
Project Type:	Replacement	Valley Elementary	BTL	X				
GROSS AREA BASELINE in GSF	Educ. Type	Estimated Approved Projected Enrollment*	GSF per student**	Total GSF	Construction Cost	State Share		
	Elementary	708 x	113.68 =	80,485		65%		
	Special ED Elem	20 x	66.32 =	1,326				
				81,812				
GSF Above GAB			*	-				
	Existing Facility GSF	59,989						
	Demolition of Existing GSF	(59,989)						
	Revised Existing Facility GSF	-						
	Eligible New GSF	81,812						
ADDITION								
	New GSF	81,812 x	358.00		29,289,000	19,038,000		
	GSF Above GAB Per Statute	3,000	358.00		1,074,000	698,000		
	Cooperative-Use Space (GSF)	x	358.00		0	0		
	Site Development	x	19%		5,769,000	3,750,000		
	Design Cost	x	10%		3,613,000	2,348,000		
	Furniture and Fixtures	x	5%		1,807,000	1,175,000		
					41,552,000	27,009,000		
RENOVATION								
	Age of Structure	Construction Year	GSF to be Renovated	GSF	Percentage to be Covered	Cost		
	40 & older		0 x	358.00 x	100% =	0		
	31-39		0 x	358.00 x	85% =	0		
	26-30		0 x	358.00 x	75% =	0		
	21-25		0 x	358.00 x	65% =	0		
	16-20		0 x	358.00 x	50% =	0		
	0-15		0 x	358.00 x	0% =	0		
			0			0		
	Cooperative-Use Space (GSF)	x	358.00			0		
	Site Development		5%			0		
	Design Cost		10%			0		
	Furniture, Fixtures and Equipment		5%			0		
						0		
TOTAL COST						41,552,000	27,009,000	
	Less Prior State Funds for Related Projects							
MAXIMUM STATE CONSTRUCTION ALLOCATION							27,009,000	
	Less CIP Allocations for the Project							
ADJUSTED MAXIMUM STATE CONSTRUCTION ALLOCATION							0	
	Less CIP Allocations for the Project							
BALANCE							27,009,000	
Additional Notes:							Date Planning Approved:	2/22 - FY'23
The "Net State Funding" on this worksheet is an estimate of the maximum State allocation for this project, but may be reduced based on the costs of the approved contract(s), ineligible items, and change orders.							Date Revised:	02/10/22
Project consists of 92,196 sf new and demolition of the entire existing 59,989 sf facility per ED specifications.							Date of State Approval:	02/10/22



STATE OF MARYLAND - CAPITAL IMPROVEMENT PROGRAM / BUILT TO LEARN  
COMPUTATION SUPPLEMENTAL WORKSHEET  
For Estimating the State Allocation for FY 2023  
(Amounts rounded to the nearest 1,000)

PSC No.:			Priority #	7 (LP) & 8 (F)			
Project Type:	Replacement	West County E - New	CIP and/ or BTL Project	BTL			
GROSS AREA BASELINE in GSF	Educ. Type	Estimated Approved Projected Enrollment*	GSF per student**	Total GSF	Construction Cost	State Share	
	Elementary	430 x	133.00	=	57,190	50%	
	Special ED Elem	10 x	47.00	=	470		
					57,660		
150% GSF Above GAB					86,490		
	Existing Facility GSF						
	Demolition of Existing GSF						
	Revised Existing Facility GSF						
	Eligible New GSF				57,660		
ADDITION							
	New GSF	57,660 x	358.00		\$ 20,642,000	\$ 10,321,000	
	GSF Above GAB Per Statute	25,830 x	358.00		\$ 9,247,000	\$ 4,624,000	
	Cooperative-Use Space (GSF)	3,000 x	358.00		\$ 1,074,000	\$ 537,000.0	
	Site Development	x	19%		\$ 5,883,000	\$ 2,942,000.0	
	Design Cost	x	10%		\$ 3,685,000	\$ 1,843,000.0	
	Furniture and Fixtures	x	5%		\$ 1,842,000	\$ 921,000.0	
					\$ 42,373,000	\$ 21,188,000	
RENOVATION							
	Age of Structure	Construction Year	GSF to be Renovated	GSF	Percentage to be Covered	Cost	
	40 & older		x	358.00 x	100%	= 0	
	31-39		0 x	358.00 x	85%	= 0	
	26-30		0 x	358.00 x	75%	= 0	
	21-25		0 x	358.00 x	65%	= 0	
	16-20		0 x	358.00 x	50%	= 0	
	0-15		0 x	358.00 x	0%	= 0	
			0			\$ -	
	Cooperative-Use Space (GSF)	x	\$ 358.00			\$ -	
	Site Development			5%		\$ -	
	Design Cost			10%		\$ -	
	Furniture, Fixtures and Design			5%		\$ -	
						\$ -	
						\$ -	
TOTAL COST					\$ 42,373,000	\$ 21,188,000	
	Less Prior State Funds for Related Projects						
MAXIMUM STATE CONSTRUCTION ALLOCATION						\$ 21,188,000	
	Less CIP Allocations for the Project						
ADJUSTED MAXIMUM STATE CONSTRUCTION ALLOCATION						\$ -	
	Less CIP Allocations for the Project						
BALANCE						\$ 21,188,000	
Additional Notes:						Date Planning Approved:	02/10/22
The "Net State Funding" on this worksheet is an estimate of the maximum State allocation for this project, but may be reduced based on the costs of the approved contract(s), ineligible items, and change orders.						Date Revised:	03/28/22
Project consists of new 80,768 gsf per CD submission.						Date of State Approval:	04/14/22

## Item 1G. Built to Learn Act Project Status Report

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### **Motion:**

This item is informational and does not require IAC action.

### **Background Information:**

Please see the details regarding BTL allocations, report key, attached report dated as of April 28, 2022 - ***Built to Learn Act Project Status Report***.

### **BTL Project Status Report Key**

This report displays the current status of BTL projects that have been approved by the IAC.

The Delivery column indicates the type of project delivery method:

- **O/B:** Owner / Builder. The LEA acts as the prime at-risk construction manager (general contractor) and directly contracts with the trade contractors. The LEA may engage a not-at-risk construction manager to act as its agent to assist with the management of the project.
- **CMAR:** Construction Management At-Risk. The LEA engages an at-risk construction manager that will become the prime general contractor before the schematic design phase begins to gain the value-added benefits of ensuring design/construction viability and design cost effectiveness and for a turn-key project delivery within a guaranteed maximum price (GMP).
- **DBB:** Design-Bid-Build. The LEA utilizes the “traditional” sealed bid delivery method where the successful at-risk prime general contractor delivers the project turn-key for a fixed price based upon fully complete project documents.

The percentage within each box indicates the level of progress of that phase and the color indicates the degree to which the activities in that phase are/were on schedule based upon the LEA’s initially submitted project schedule (generally from the schematic-design submission).

%	Phase completed or on track to be completed ahead of scheduled date.
%	Phase completed or on track to be completed within 2 months of scheduled date.
%	Phase completed or on track to be completed between 2 - 4 months of scheduled date.
%	Phase completed or on track to be completed more than 4 months after scheduled date.

# Built to Learn Act Project Status Report

LEA	Project	Delivery	Design	Constr	Punchlist	Notes
Anne Arundel	Hillsmere ES Replacement	O/B	100%	30%	0%	
Anne Arundel	Old Mill West HS New	O/B	100%	29%	0%	
Anne Arundel	Rippling Woods ES Replacement	O/B	100%	32%	0%	
Anne Arundel	West County ES New	O/B	100%	0%	0%	
Balt County	Bedford ES Replacement	O/B	100%	0%	0%	These projects have been requested since FY19 and didn't receive State funding so Design was delayed until funding secured.
Balt County	Northeast Area MS New	O/B	100%	3%	0%	
Balt County	Pine Grove MS Renovation / Addition	O/B	100%	0%	0%	
Balt County	Summit Park ES Replacement	O/B	100%	2%	0%	
Balt County	Lansdowne HS Replacement	O/B	95%	0%	0%	
Carroll	Westminster East MS Replacement	CMAR	100%	13%	0%	Project delayed in permitting
Charles	J. P. Ryon ES PreK & K Addition	DBB	100%	0%	0%	LEA delayed project for MSA MOU
Charles	Malcolm ES PreK & K Addition/Renovation	DBB	100%	0%	0%	LEA delayed project for MSA MOU
Charles	McDonough HS Renovation/Addition	DBB	100%	0%	0%	LEA delayed project for MSA MOU
Frederick	Waverley ES Replacement	O/B	100%	83%	0%	
Frederick	Brunswick ES Replacement	CMAR	100%	4%	0%	
Frederick	Green Valley ES Replacement	CMAR	15%	0%	0%	
Frederick	Valley ES Replacement	CMAR	15%	0%	0%	
Harford	Homestead Wakefield ES Replacement	O/B	99%	0%	0%	
Howard	Hammond HS Renovation/Addition	O/B	100%	60%	0%	No update provided by the LEA.
Montgomery	Clarksburg Cluster ES #9 New	CMAR	100%	10%	0%	
Montgomery	South Lake ES Renovation / Addition	CMAR	100%	10%	0%	
Montgomery	Burnt Mills ES Replacement	CMAR	100%	5%	0%	
Montgomery	Woodlin ES Replacement	CMAR	100%	5%	0%	
Montgomery	Woodward HS Replacement	CMAR	100%	29%	0%	After initial bid, project went through a redesign.
Montgomery	Stonegate ES Renovation / Addition	CMAR	100%	15%	0%	
Montgomery	Neelsville MS Replacement	CMAR	99%	0%	0%	
Montgomery	Poolesville HS Renovation / Addition	CMAR	100%	6%	0%	
Montgomery	Page ES Addition	DBB	99%	0%	0%	Project bid without DGS approval.
Wicomico	Mardela MS/HS Addition / Renovation	CMAR	99%	0%	0%	

## Item 1H. Projects Approaching the Deadline for Contract Approval

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### **Motion:**

This item is informational and does not require IAC action.

### **Background Information:**

Section 5-303(j) of the Education Article of the Maryland Code requires that, for each Capital Improvement Program (CIP) project that receives an allocation of State school construction funds from the Interagency Commission on School Construction (IAC), the LEA execute a contract with a vendor within two years of the IAC's approval of the project allocation.

Through the Regional Facility Managers (RFM) Team, IAC staff closely monitors project progress and meets with each LEA monthly or bi-monthly depending on the complexity of the LEA's portfolio. Because of this, IAC staff is able to identify projects that may not meet the COMAR contract requirement early on and attempt to collaborate with the LEA in an effort to contract the work or take other appropriate actions.

Attached you will find a color-coded table of all the projects currently required to be under LEA Board of Education approved Contract by May 30, 2022 for which the IAC has not received a contract for approval. Projects without color are projects that IAC staff believes will make the required deadline. Projects that are yellow are projects that we believe are in danger of missing the deadline and projects that are red are projects that IAC staff believes will NOT make the required deadline.

Unfortunately, many of these project allocations will expire, resulting in a cancellation of the allocation, which is then held in an account for the LEA for application to the current or next year's CIP. In some cases, the LEA will request to amend the project into the LEA's current CIP, resetting the 2 year clock. Project delays result in value lost as construction cost inflation reduces the value of the funding over time.

Please see the attached report titled ***Projects Approaching the Deadline for Contract Approval***.

## Projects Approaching the Deadline for Contract Approval

LEA	Project Number	School	Scope	Allocation	Status
Cecil	07.030.22	Cecil Manor ES	HVAC	\$1,886,557	Project bid and over budget. LEA to cancel project and include in FY24 CIP.
Montgomery	15.003.21	Clarksburg ES	HVAC	\$562,000	Project has bid, BoE has approved. LEA to submit to IAC.
Montgomery	15.055.21	Brookhaven ES	HVAC	\$474,000	Project rescinded & amended into the FY23 CIP at the May IAC Meeting.
Montgomery	15.162.21	Ronald McNair ES	HVAC	\$487,000	Project has bid, BoE has approved. LEA to submit to IAC.
Montgomery	15.250.21	Meadow Hall ES	HVAC	\$499,000	Project rescinded & amended into the FY23 CIP at the May IAC Meeting.
Prince George's	16.174.14	Charles Flower HS	HVAC	\$7,000,000	Project rescinded & amended in FY23 CIP to include the Roof scope in the April Mtg.
Prince George's	16.199.13	Schmidt Outdoor Ed Cntr	Addition	\$19,037,000	CMA Proposals recieved in Nov, no BoE approval. No DGS bid approval.
Prince George's	16.265.13	Glenridge Area MS	New	\$40,804,860	Project has bid, BoE has approved. LEA submitted to IAC. May IAC Meeting agenda.
Queen Anne's	17.014.21	Sudlersville ES	Chiller	\$153,000	DD/CD Submission occurred in March. Hoping to Bid & BoE approval in May.
Queen Anne's	17.014.21	Sudlersville ES	Fire Safety	\$150,000	Target April CD submission. Hoping to Bid & BoE approval in May.
Queen Anne's	17.021.21	Bayside ES	Windows/Doors	\$147,000	DD/CD submission occurred in April. Hoping to Bid & BoE approval in May.
Queen Anne's	17.023.14	Kent Island HS	Roof	\$2,040,000	DD/CD submission occurred in April. Hoping to Bid & BoE approval in May.
Washington	21.003.21	Western Heights MS	Roof	\$1,051,000	Project already bid and terminated. Hoping to Bid & BoE approval in May.
Baltimore City	30.023.21	Federal Hill Prep PK-5	Roof	\$2,296,000	CDs yet to be approved. Bid in April, BoE scheduled for approval 5/27.
Baltimore City	30.023.18	Federal Hill Prep PK-5	Elevator	\$446,000	CDs approved. Bid in April, BoE scheduled for approval 5/27.
Baltimore City	30.177.16	George Washington ES	Roof/ HVAC	\$3,994,000	Designer contracted, under design. LEA requested rescind / amend into FY23.
Baltimore City	30.188.18	Walbrook HS	Roof	\$5,280,000	Project bid and over budget. LEA requested rescind / amend into FY23.
Baltimore City	30.243.21	Franklin Square PK-8	HVAC/ Window/Door	\$6,720,000	Design RFP issued, no designer contracted. LEA requested rescind / amend into FY23.
Baltimore City	30.248.21	Curtis Bay ES	Roof/HVAC	\$6,720,000	Design RFP issued, no designer contracted. LEA requested rescind / amend into FY23.
Baltimore City	30.248.18	Curtis Bay ES	Windows/Doors	\$1,298,000	CDs approved. Bid in April, BoE scheduled for approval 5/27.
Baltimore City	30.277.21	Harlem Park PK-8	HVAC	\$5,952,000	Design RFP issued, no designer contracted. LEA requested rescind / amend into FY23.
<b>Total dollars from projects yet to be contracted and approved by the deadline</b>				<b>\$106,997,417</b>	



## Item 2.      **Approval of IAC Meeting Bylaws**

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### **Motion:**

To approve the adoption of the Interagency Commission on School Construction Bylaws as presented.

### **Background Information:**

Please see the attached document titled ***Interagency Commission on School Construction Bylaws***

## **DRAFT**

### **Interagency Commission on School Construction Bylaws**

#### **Article I. Name**

- 1) There is an Interagency Commission on School Construction, as established by § 5-302 of the Education Article of the Maryland Annotated Code (Code).
- 2) In these bylaws, “Commission” means the Interagency Commission on School Construction.

#### **Article II. Purposes**

- 1) The Commission is an independent commission that functions within the Maryland State Department of Education (Department). The Department provides administrative support to the Commission, including but not limited to, human resources and procurement support, but does not control the independent decision-making authority of the Commission relating to public school construction.
- 2) The Commission shall have the enumerated powers set forth under Maryland law.
- 3) The purpose of the Commission is to develop and approve policies, procedures, guidelines, and regulations on State school construction allocations to local jurisdictions and the Maryland School for the Blind in an independent and merit-based manner based on State educational priorities and Statewide needs measured against the capacity for State funding.
- 4) In fulfilling the duties of the Commission, the Commission shall act in accordance to the requirement of the law and the following principles:
  - a) Perform its duties in a timely, impartial, ethical, and equitable manner;
  - b) Provide for reasonable and appropriate public participation as determined by the Commission;
  - c) Provide timely notice of meeting and actions of the Commission to the public;  
and
  - d) Engage in any other actions or activities determined by the Commission to be necessary to carry out its responsibilities and meet its goals, purposes, and duties.



### **Article III. Membership**

- 1) The Commission consists of the following members:
  - i) The State Superintendent of Schools, or the Superintendent's designee;
  - ii) The Secretary of Planning, or the Secretary's designee;
  - iii) The Secretary of General Services, or the Secretary's designee;
  - iv) Two members of the public appointed by the Governor;
  - v) Two members of the public appointed by the President of the Senate; and
  - vi) Two members of the public appointed by the Speaker of the House.
- 2) An appointed member of the IAC may not be:
  - a) An individual who is a regulated lobbyist as described in § 5-702(a)(1), (2), (3), or (4) of the General Provisions Article of the Code;
  - b) A federal, State, or local elected official;
  - c) An employee of State or county government or a county board of education; or
  - d) An individual who has a business interest in, or contracts related to, school construction in any jurisdiction in the State.
- 3) Term

A member shall serve until his or her written resignation is submitted to the appointing authority, Chair, and Executive Director, or until the appointing authority who appointed the member appoints a replacement.
- 4) Vacancy

In the event of a vacancy, the official who appointed the member shall appoint a new member to fill the vacancy.
- 5) Compensation

A member of the Commission may not receive compensation as a member of the Commission but is entitled to reimbursement for expenses under the Standard State Travel Regulations, as approved in the State budget.
- 6) Voting

- a) Each member of the Commission shall have one vote on each matter submitted to a vote of the Commission.
- b) A vote may not be exercised by proxy. A designee, as authorized by Code, is not a proxy and shall be authorized to fully participate and vote during meetings.

7) Duties and Powers of Commission Members

- a) In general, the members of the Commission shall manage the business and affairs of the Commission.
- b) The duties and powers of the Commission are as follows:
  - i) Review, understand, and carry out the requirements of law relating to the granting of funds, provision of technical support, and oversight of requirements related to public school construction in Maryland;
  - ii) Conduct public meetings as required to fulfill its duties and responsibilities;
  - iii) Call for appointment of subcommittees, which may have a number of members totaling less than a quorum of the full Commission;
  - iv) Appoint the Executive Director of the Commission and, if there is a vacancy in the position of Executive Director, appoint an interim Executive Director;
  - v) Evaluate the performance of the Executive Director in accordance with the state Performance Planning & Evaluation Program;
  - vi) Review all Commission correspondence and materials in preparation for meetings; and
  - vii) Attend all Commission meetings, unless excused, and vote on matters being considered by the Commission.
- c) The following duties are delegated by the Commission to the Executive Director:
  - i) Employ Commission staff, including contractual staff, in accordance with the State budget;
  - ii) Supervise all officers, staff, and agents of the Commission to ensure the proper performance of their duties; and
  - iii) Any other duties the Commission, from time to time, deems appropriate.

## **Article IV. Commission Officers**

### **1) Appointment of Officers**

- a) The chair of the Commission is jointly selected by the Governor, President of the Senate, and Speaker of the House.
- b) The vice chair shall be appointed to a two-year term by the chair of the Commission with approval by vote of at least a majority of the Commission members.

### **2) Officer Duties**

- a) The duties of the chair of the Commission are as follows:
  - i) Act as principal executive officer of the Commission, subject to the control of the members of the Commission;
  - ii) In general, supervise and control all the business and affairs of the Commission;
  - iii) Evaluate the performance of the Executive Director in accordance with the state Performance Planning & Evaluation Program;
  - iv) Create meeting agendas;
  - v) Preside at all meetings of the Commission, when present;
  - vi) Appoint the Commission vice chair, subject to approval of the members of the Commission;
  - vii) Call for the appointment of subcommittees, which may have a number of members totaling less than a quorum of the full Commission, and appoint members of subcommittees;
  - viii) Provide notice of all meetings and Commission business and distribute meeting and other relevant material to the members of the Commission in a timely manner;
  - ix) Act as official spokesperson for the Commission; and
  - x) Perform all duties incident to the office of chair and any other duties as may be determined by the members of the Commission.
- b) The duties of the vice chair are to perform the duties of the chair if the chair is absent or unavailable. The chair may assign the vice chair duties as required to conduct the business of the Commission.

## **Article V. Meetings**

### **1) Meeting Requirements**

- a) The Commission shall have regularly scheduled meetings as required to conduct the business of the Commission.
- b) The date, time, and location of meetings shall be determined by the Commission. At the discretion of the chair, meetings may be held in person or virtually.
- c) The chair may cancel a regular meeting of the Commission. Reasonable public notice of cancellation must be given prior to the meeting.
- d) The chair may call special meetings that are in addition to regularly scheduled meetings. However, no votes may be taken at a special meeting unless reasonable prior notice is provided to members, staff, and the public.
- e) The chair may convene a work or information session of the Commission. These sessions shall be open to the public and no official action shall be taken during these sessions.

### **2) Quorum**

- a) A majority of Commission members constitutes a quorum. In the event of a vacancy on the Commission, a quorum consists of a majority of members currently serving on the Commission.
- b) Action by the Commission requires the affirmative vote of a majority of the Commission members present.
- c) There shall be no effect on the quorum when a member of the Commission abstains or declines to vote or if a member is disqualified from participating under Article VI of these bylaws.

### **3) Public Participation**

- a) The Commission will provide for public participation. Public testimony may be allowed at the discretion of the chair and shall be subject to any time limit established by the chair.
- b) The Commission shall establish reasonable rules and policies regarding public participation, including but not limited to, notice and procedures for the submission of written comments. These rules and policies are posted on the Commission's website.
- c) The Commission is subject to the Maryland Public Information Act.

#### 4) Open Meetings

- a) The Commission is subject to the Maryland Open Meetings Act.
- b) Except for those actions authorized or required by law, the actions of the Commission shall be taken at a public meeting and all actions shall be made public.
- c) The Commission may take action in closed session in accordance with § 3-305 of the General Provisions Article of the Code.
- d) Each open meeting of the Commission shall be made available to the public through live video streaming.
- e) The Commission shall make publicly available on the internet a complete, unedited archived video recording of each open meeting for a minimum of 5 years after the date of the meeting.
- f) Any communications among a quorum could constitute a meeting if the communications demonstrate that a quorum was discussing an issue that should be addressed in an open public session. Commission members will exercise caution when communicating with each other about Commission business or affairs outside a public meeting.

#### 5) Minutes

- a) Minutes shall be prepared by the Executive Director or the Executive Director's staff designee.
- b) Meeting minutes shall be prepared and presented to all Commission members promptly after the meeting. The authority to approve the meeting minutes in draft form is delegated to the Chair. The Executive Director shall direct the posting of the draft meeting minutes to the Commission website.
- c) At the next scheduled meeting, the Commission shall review and approve the minutes. The Executive Director shall direct the replacement of the draft minutes with the approved minutes on the Commission's website.

#### 6) Publication of Meeting Notice

All meeting notices shall be published as soon as practicable before a meeting:

- A. On the Commission's website;
- B. In the hearing schedule on the Maryland General Assembly website at [mgaleg.maryland.gov](http://mgaleg.maryland.gov) under the "meetings" tab; and

- C. At any location or by any other method determined appropriate by the Commission.
- 7) A draft meeting agenda and draft meeting materials shall be distributed by Commission staff to Commission members and local education agencies at least 7 days before the meeting date. The final meeting agenda and meeting materials shall be distributed to Commission staff and local education agencies and posted on the Commission website as soon as practicable before the meeting. The chair may allow a draft meeting agenda and draft meeting materials to be submitted within 7 days before the meeting.
- 8) A meeting agenda shall include the date, time, and location of the meeting, the topics to be discussed, and which portions, if any, of the meeting will be conducted in closed session. Meeting agendas and meeting materials shall be posted on the Commission's website as soon as practicable before the meeting.

## **Article VI. Ethics**

- 1) The Commission and its officers are subject to the Maryland Public Ethics Law.
- 2) Each member of the Commission shall disclose to the Commission any conflicts of interest or potential conflict of interest whenever the conflict or potential conflict relates to a matter being considered by the Commission.
- 3) A member of the Commission who is disqualified from participating on a matter being considered by the Commission due to a conflict of interest:
- a) May not:
    - i) Vote on the matter; or
    - ii) Discuss, advocate, influence, or attempt to influence other members of the Commission, or participate in any way on the matter; but
  - b) Shall be counted for the purpose of establishing a quorum of the Commission to conduct business.
- 4) The disclosure of a member's conflict of interest shall be made public at a meeting of the Commission.

## **Article VII. Amendments**

- 1) These bylaws may be amended by a vote of a majority of the current members of the Commission.

- 2) Any proposed amendment to these bylaws shall be provided to all Commission members at least 30 days before the meeting at which the proposed amendment will be considered.

**Item 3.       Amendment of Prince George's County Public School's William Schmidt Outdoor Educational Center FY 2021, FY2022, and FY 2023 Capital Improvement Program (CIP)**

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**Motion:**

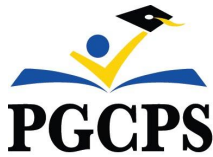
1. To approve the cancellation of Prince George's County Public School (PGCPS) FY 2021 William Schmidt Outdoor Educational Center Replacement/Renovation Project (PSC# 16.199.21);
2. To approve the cancellation of Prince George's County Public School (PGCPS) FY 2022 William Schmidt Outdoor Educational Center Replacement/Renovation Project (PSC# 16.199.22);
3. Transfer the State allocation totaling \$19,037,000 to the LEA's Reserved Prior Year Appropriations Account;
4. Amend the FY 2023 CIP and apply \$19,037,000 from the Reserved Prior Year Appropriations account to the FY 2023 William Schmidt Outdoor Educational Center Replacement/Renovation Project (PSC# 16.199.23).

**Background Information:**

On April 21, 2022, staff of the Interagency Commission on School Construction received a request from PGCPS to cancel the FY 2021 and FY 2022 Replacement/Renovation project at the William Schmidt Outdoor Educational Center and amend the FY 2023 Replacement/Renovation project at the William Schmidt Outdoor Educational Center.

According to the LEA, the project has faced several challenges exacerbated by the pandemic and enhanced regulatory review required due to the uniqueness of the site/facility in comparison to other more typical school buildings leading to delays in the overall schedule. Funds allocated in FY 2021 will expire if not under contract by the Board of Education by May 31, 2022, pursuant to Education Article, §5-303(j). By rescinding the allocations and amending the FY 2023 CIP to include the project, PGCPS expects to have sufficient time to execute the project. IAC staff recommend approval.





## DEPARTMENT OF CAPITAL PROGRAMS

Shawn Matlock, Director | shawn.matlock@pgcps.org  
13300 Old Marlboro Pike | Upper Marlboro, MD 20772 | 301-952-6548

April 21, 2022

Mr. Robert Gorrell  
Executive Director  
Interagency Commission on School Construction  
200 W. Baltimore Street  
Baltimore, MD 21201

**RE: PSC Number 16.199.21 William Schmidt OEC Renovation/Addition  
Funding Reversion Request**

Dear Mr. Gorrell:

Prince George's County Public Schools is requesting the reversion of the FY21 State allocation of \$8.498M and the FY22 State allocation of \$10.539M for the above-mentioned school. After consultation with Interagency Commission staff and due the below realities, we are now requesting the entirety of the FY21 and FY22 allocations be reverted, placed into our reserve and re-awarded and made available as part of the FY23 CIP.

The modernization project at William Schmidt Outdoor Environmental Center faced several challenges which were exacerbated by the pandemic of 2020 through 2022. The bucolic 450+ acre site for the Schmidt Center is unique compared to a typical school building—the remoteness of the site and lack of municipal utility connections, requires onsite utility design coupled with protection of natural resources. This in turn requires enhanced regulatory review, which is particularly evident for Schmidt's proposed site, wastewater & treatment designs. Each is required to go through MDE and MNCPPC.

We have generally found comment periods for regulatory review agencies to be overly extended since the start of the pandemic with these agencies citing high volume and perpetual understaffing; however, these delays became more extraordinary given the enhanced reviews Schmidt already required and have even caused duplicative efforts on the part of the submitting entity. As one example, MDE requested duplication of soil perc tests 16 months after the first set of tests (the first tests were conducted in May 2020 with MDE unable to observe in person due their covid restrictions and a second in-person round was then requested in September 2021).

That said, PGCPS is moving forward with this exciting project and has a highly-qualified CMA on board after the conclusion of a lengthy but well-competed procurement. Mitigating market fluctuations and escalation while encouraging subcontractor participation and competition have been priorities in planning the trade package solicitations and a final procurement schedule should

Mr. Robert Gorrell  
April 21, 2022  
Page 2 of 2

be shareable shortly. From there, we will be able to provide firmer, more dependable revised timelines for the Schmidt Center modernization.

Thank you for your review and consideration.

Sincerely,



Shawn A. Matlock  
Director of Capital Programs

c:	Mr. Bret Waskiewicz	Ms. Arabia Davis
	Mr. Eugene Shanholtz	Mr. Mark Fossett, Ed. D
	Mr. Charoscar Coleman, Ed. D	Ms. Shayla Taylor Jackson
	Ms. Dawn Holton, PE	Mr. William Smith

**Item 4. Baltimore City Public Schools – Rescission and Amendment of five (5) Projects to FY 2023 Capital Improvement Program (CIP)**

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**Motion:**

1. To approve the rescission of five (5) Baltimore City Schools FY 2021 Capital Improvement Program projects;
2. Transfer the State allocation totaling \$ 28,666,000 to the LEA's Reserved Prior Year Appropriations Account;
3. Amend the FY2023 CIP to include the five (5) Baltimore City Schools projects including design funding only for two projects and full funding for three projects, including estimated increases.
4. Apply \$23,991,960 from the Reserved Prior Year Appropriations Account to the FY 2023 CIP for the five projects as presented in Table 2.

**Background Information:**

On April 19, 2022, staff of the Interagency Commission on School Construction received a request letter from BCPSS to rescind five (5) FY 2021 HVAC/ Multi systemic renovation projects and amend them into the FY 2023 Capital Improvement Program (CIP).

In the attached letter BCPSS provided justification for each project in the attached letter. These projects were delayed due to "COVID impacts on completing projects, as well as on material delays and material and labor substantial cost increases." Project costs have also increased and are currently estimated to cost an additional \$6,730,760 over the original allocation amount of \$17,261,200

Table 1 below reflects progress made within the two (2) year statutory time frame for getting projects contracted per Education Article §5-303(j)(3)(i). Due to the design progress , the IAC Staff recommendation is to approve the rescissions and amendments as shown on Table 2, which includes design funding only for two projects .

Table 1 - Design Progress

PSC	Project	Type	Funding Year	Funding Amount	Design RFP	Design Contracted	SD/DD Submission	CD Submission	Bid
<b>Baltimore City</b>									
30.277.21 SR	Harlem Park PK-8	HVAC	FY 21	\$5,952,000	No	No	No	No	No
30.248.21 SR	Curtis Bay PK-8	Multi SR	FY 21	\$6,720,000	No	No	No	No	No
30.243.21 SR	Franklin Square PK-8	Multi SR	FY 21	\$6,720,000	Yes	Yes	No	No	No
30.177.21 SR	George Washington ES	Multi SR	FY 21	\$3,994,000	Yes	Yes	No	No	No
30.188.21 SR	Walbrook Building	Roof	FY 21	\$5,280,000	Yes	Yes	Yes	Yes	Yes

Table 2 - Staff Recommendation

PSC #	Project	Type	Request to Rescind FY21	Request to Amend FY23	Difference in Increase	ABC Status	State Allocation FY23 - Staff Recommendation
30.277.21 SR	Harlem Park PK-8	HVAC	\$5,952,000	\$7,737,600	\$1,785,600	A (10% Design)	\$773,760
30.248.21 SR	Curtis Bay PK-8	Multi SR	\$6,720,000	\$9,072,000	\$2,352,000	A (10% Design)	\$907,200
30.243.21 SR	Franklin Square PK-8	Multi SR	\$6,720,000	\$9,072,000	\$2,352,000	A	\$9,072,000
30.177.21 SR	George Washington ES	Multi SR	\$3,994,000	\$5,391,000	\$1,397,000	A	\$5,391,000
30.188.21 SR	Walbrook Building	Roof	\$5,280,000	\$7,848,000	\$2,568,000	A	\$7,848,000
<b>TOTALS</b>			<b>\$28,666,000</b>	<b>\$39,120,960</b>	<b>\$10,454,600</b>		<b>\$23,991,960</b>

# BALTIMORE CITY PUBLIC SCHOOLS

**Brandon M. Scott**  
Mayor, City of Baltimore

**Johnette A. Richardson**  
Chair, Baltimore City Board  
of School Commissioners

**Dr. Sonja Brookins Santelises**  
Chief Executive Officer

April 13, 2022

Mr. Robert Gorrell  
Executive Director  
Interagency Commission on School Construction  
200 West Baltimore Street, 2<sup>nd</sup> Floor  
Baltimore, Maryland 21201

RE: Baltimore City Schools FY21 Capital Improvement Program (CIP)  
Projects to Rescind Request

Dear Mr. Gorrell:

Baltimore City Public Schools (City Schools) is requesting that the funding for the Capital Improvement projects noted below be rescinded.

For each project below, we have provided a justification as to why the project is being rescinded. As you are aware, the past several years have been challenging with respect to the COVID impacts on completing projects, as well as on material delays and material and labor substantial cost increases. We appreciate your consideration for our request.

City Schools requests rescission of the following projects. The total rescinded state CIP funds for the below projects is \$29,860,000.00, with an additional fund request of \$10,891,000.00

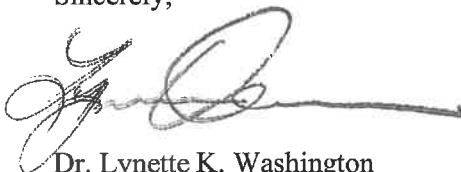
1. #035 Harlem Park PK-8 HVAC PSC #30.277.21 SR \$ 6,200,000
  - a. Justification: Cost increases in the last six to eight months have been substantial, in particular in regards to HVAC equipment, roofing materials, and equipment with electronic components. Based on the bids we have received on recent projects, this project is estimated to have a 30% increase in cost. City Schools does not have the funding to pay for the increase on this project. We would like to request an amendment to the FY2023 CIP (prior to its 100% approval in May) at the increased total cost of \$8,060,000, with the additional funding supplemented from the City Schools reserve contingency fund. This will allow us to proceed with the design, which was halted when the additional costs were determined, and continue with the project.
2. #095 Franklin Square PK-8 multi-systemic PSC #30.243.21 SR \$ 7,000,000
  - a. Justification: Cost increases in the last six to eight months have been substantial, in particular in regards to HVAC equipment, roofing materials, and equipment with electronic components. Based on the bids we have received on recent projects, this project is estimated to have a 35% increase in cost. City Schools does not have the funding to pay for the increase on this project. We would like to request an amendment to the FY2023 CIP (prior to its 100% approval in May) at the increased total cost of \$9,450,000, with the additional funding supplemented from the City Schools reserve

contingency fund. This will allow us to proceed with the design, which was halted when the additional costs were determined, and continue with the project.

3. #207 Curtis Bay PK-8 multi-systemic PSC #30.248.21 SR \$ 7,000,000
  - a. Justification: Cost increases in the last six to eight months have been substantial, in particular in regards to HVAC equipment, roofing materials, and equipment with electronic components. Based on the bids we have received on recent projects, this project is estimated to have a 35% increase in cost. City Schools does not have the funding to pay for the increase on this project. We would like to request an amendment to the FY2023 CIP (prior to its 100% approval in May) at the increased total cost of \$9,450,000, with the additional funding supplemented from the City Schools reserve contingency fund. This will allow us to proceed with the design, which was halted when the additional costs were determined, and continue with the project.
4. #022 George Washington ES multi-systemic PSC #30.177.21 SR \$ 4,160,000
  - a. Justification: Cost increases in the last six to eight months have been substantial, in particular in regards to HVAC equipment, roofing materials, and equipment with electronic components. Based on the bids we have received on recent projects, this project is estimated to have a 35% increase in cost. City Schools does not have the funding to pay for the increase on this project. We would like to request an amendment to the FY2023 CIP (prior to its 100% approval in May) at the increased total cost of \$5,616,000, with the additional funding supplemented from the City Schools reserve contingency fund. This will allow us to proceed with the design, which was halted when the additional costs were determined, and continue with the project.
5. #411 Walbrook Building Roof PSC #30.188.21 SR \$ 5,500,000
  - a. Justification: Cost increases in the last six to eight months have been substantial, in particular in regards to HVAC equipment, roofing materials, and equipment with electronic components. We have received bids on this project, and the lowest responsive and responsible bid is \$8,174,250, which is a 49% increase over the funded amount. City Schools does not have the funding to pay for this increase on this project. We would like to request an amendment to the FY2023 CIP (prior to its 100% approval in May) at the increased total cost of \$8,175,000, with the additional funding supplemented from the City Schools reserve contingency fund. This will allow us to re-bid the project and proceed with construction.

Should you have any questions or concerns, please contact me. Thank you for your consideration in this matter.

Sincerely,



Dr. Lynette K. Washington  
Chief Operating Officer

Copy: Monique Roumo – Acting Executive Director Facilities  
Cynthia Smith – Director Facilities Design & Construction

## **Item 5. FY 2023 100% Capital Improvement Program**

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### **Motion:**

1. To approve the Fiscal Year 2023 Capital Improvement Program in the total amount of \$417.253 million, including \$412.974 million for allocation to funding and planning projects, \$.5 million for Department of General Services (DGS) design consultant fees and reserving \$3.779 million in new authorization for unanticipated project costs; and
2. To authorize the IAC staff to make minor adjustments to allocations based on calculation of the project's net state funding amount to avoid the over or under funding of a project.

### **Background Information:**

#### **FY 2023 Public School Construction Capital Improvement Program**

In compliance with Maryland law Education Article §5-304(b)(5), Annotated Code of Maryland, the IAC shall approve, on or after May 1 every year, public school construction projects that comprise 100% of the school construction allocation included in the capital budget bill as enacted.

The available funding for the FY 2023 CIP consists of \$67.2 million in preliminary new bond authorization in accordance with the Maryland Consolidated Capital Bond Loan (MCCBL) of 2022, \$217.779 million in PAYGO General Funds for FY 2022, \$95.391 million in Supplemental Enrollment Growth and Relocatable Classroom (EGRC) funds, and \$19.190 million in prior year EGRC funds for fiscal years 2017, 2019, 2020 and 2022. Additionally \$81.576 million in prior year appropriations is available, of which \$48.897 million is contingent on the approval of Baltimore City and Prince George's County requests to rescind previously approved projects per the 5/11/22 IAC agenda, transfer of the funds to the LEAs prior year appropriations account and as applicable, the application of the funding to eligible FY 2023 CIP projects.

Requests for the FY 2023 Capital Improvement Program (CIP) were submitted by the 22 LEAs and the Maryland School for the Blind totaling \$510.618 million for 149 projects, as well as 41 requests for planning approval. See Table 1. Projects that received IAC funding approval through either the Healthy School Facility Fund Program or Built to Learn Act of 2020 are shown with a status of "D - Denied."

Planning and Funding Requests					Table 1
Project Type	LP	Funding	Total	Amount Requested	% of Amount Requested
Major Projects	37	46	83	\$274,693,872	53.80%
Kindergarten	4	4	8	\$9,027,000	1.77%
Systemic Projects	0	95	95	\$220,716,412	43.23%
Design Costs	0	3	3	\$5,681,000	1.11%
Planning Services	0	1	1	\$500,000	0.09%
<b>Total</b>	<b>41</b>	<b>149</b>	<b>190</b>	<b>\$510,618,284</b>	<b>100%</b>

The IAC staff recommendations provide funding for \$412.974 million of the \$510.618 million requested, including funding for 116 projects, which includes costs to cover design and planning services for 4 projects and planning approval for a total of 14 projects. See 100% CIP Summary of Project Approvals and Recommendations.

**The following sources of funding are available for allocation:**

Sources of Funding Available for Allocation	Table 2
FY 2023 CIP Public School Construction Program (MCCBL 2023)	\$67,221,000
FY 2023 PAYGO	\$217,779,000
Prior Year Appropriations Reserved for Specific LEAs'	\$81,576,692
Supplemental Capital Grant Program for Local School Systems with Significant Enrollment Growth or Relocatable Classrooms (EGRC)	\$95,391,000
Prior Year Supplemental Capital Grant Program for Local School Systems with EGRC	\$19,190,013
<b>Total</b>	<b>\$481,157,705</b>



Approval Status:

A: Designees recommendation for approval of planning or funding pending approval by the IAC  
B: Deferred due to fiscal constraints, but eligible for local planning or construction funding  
C: Deferred, and not currently eligible for planning or funding approval based on unresolved issues  
D: Denied, and not eligible for planning or funding approval  
R: Project is anticipated to be funded through the Built to Learn Act Program or may have been funded through the Healthy School Facilities Fund Program

LEA	Target Allocation	Total FY 2023 Requests	Number of Planning Requests Recommended Approval	Number of Funding Requests Recommended for Approval	75% IAC Approvals 12/16/21	90% IAC Approvals 3/1/22	100% IAC Staff Recommendations New Authorization 5/1/22	IAC Staff Recommendations Total New Authorization	IAC Staff Recommend- ations Prior Year EGRC APPN	IAC Staff Recommend- ations FY 2023 EGRC 5/1/22	IAC Staff Recommend- ations Statewide Prior Year APPN and Reserved for Specific LEAs	IAC Staff Recommend- ations Allocations from all Sources	% of LEA Request Funded	% of LEA Request by Total Funds Available for Distribution
A	B	C	D	E	F	G	H	I	J	K	L	M	N	O
<b>Allegany</b>	4,120,000	\$ 4,500,000	0	5	\$ 1,286,234	\$ 1,059,750	\$ 436,500	\$ 2,782,484	\$ -	\$ -	\$ 952,516	\$ 3,735,000	83.00%	0.94%
<b>Anne Arundel</b>	26,100,000	\$ 36,304,774	4	6	\$ 16,140,843	\$ 4,814,804	\$ 3,930,959	\$ 24,886,606	\$ -	\$ 10,741,840	\$ 676,328	\$ 36,304,774	100.00%	7.55%
<b>Baltimore</b>	31,800,000	\$ 54,753,000	0	11	\$ 17,637,500	\$ 3,364,500	\$ 3,786,955	\$ 24,788,955	\$ -	\$ -	\$ -	\$ 24,788,955	45.27%	11.38%
<b>Calvert</b>	3,740,000	\$ 7,353,605	0	3	\$ 4,614,809	\$ 1,628,777	\$ 1,110,019	\$ 7,353,605	\$ -	\$ -	\$ -	\$ 7,353,605	100.00%	1.53%
<b>Caroline</b>	2,820,000	\$ 1,950,000	0	1	\$ 1,950,000	\$ -	\$ -	\$ 1,950,000	\$ -	\$ -	\$ -	\$ 1,950,000	100.00%	0.41%
<b>Carroll</b>	6,810,000	\$ 15,593,000	0	3	\$ 4,619,875	\$ 5,791,043	\$ 2,184,541	\$ 12,595,459	\$ -	\$ -	\$ 346,331	\$ 12,941,790	83.00%	3.24%
<b>Cecil</b>	4,570,000	\$ 5,376,000	1	2	\$ 2,255,527	\$ 2,553,804	\$ -	\$ 4,809,331	\$ -	\$ -	\$ 538,669	\$ 5,348,000	99.48%	1.12%
<b>Charles</b>	8,970,000	\$ 46,394,339	1	5	\$ 7,781,705	\$ 10,942,160	\$ 2,174,192	\$ 20,898,057	\$ -	\$ 4,368,000	\$ -	\$ 25,266,057	54.46%	9.64%
<b>Dorchester</b>	3,400,000	\$ 4,385,500	0	2	\$ 2,150,848	\$ -	\$ -	\$ 2,150,848	\$ -	\$ -	\$ 2,234,652	\$ 4,385,500	100.00%	0.91%
<b>Frederick</b>	14,800,000	\$ 25,757,767	1	5	\$ 8,926,752	\$ 11,894,748	\$ 1,508,518	\$ 22,330,018	\$ 315,217	\$ 2,815,000	\$ 297,532	\$ 25,757,767	100.00%	5.35%
<b>Garrett</b>	1,980,000	\$ 3,215,000	0	2	\$ 1,832,363	\$ 151,473	\$ 100,981	\$ 2,084,817	\$ -	\$ -	\$ 780,183	\$ 2,865,000	89.11%	0.67%
<b>Harford</b>	11,200,000	\$ 11,067,000	1	3	\$ 5,232,845	\$ -	\$ 4,018,700	\$ 9,251,545	\$ -	\$ -	\$ 1,815,455	\$ 11,067,000	100.00%	2.30%
<b>Howard</b>	17,700,000	\$ 18,290,656	0	4	\$ 13,314,523	\$ 1,396,631	\$ 931,087	\$ 15,642,241	\$ -	\$ 999,033	\$ -	\$ 16,641,274	90.98%	3.80%
<b>Kent</b>	1,870,000	\$ 2,074,000	0	1	\$ 1,624,300	\$ -	\$ -	\$ 1,624,300	\$ -	\$ -	\$ 449,700	\$ 2,074,000	100.00%	0.43%
<b>Montgomery</b>	40,500,000	\$ 42,336,700	4	22	\$ 14,941,500	\$ 2,988,300	\$ 2,359,200	\$ 20,289,000	\$ -	\$ 13,161,000	\$ 2,584,700	\$ 36,034,700	85.11%	8.80%
<b>Prince George's</b>	33,400,000	\$ 86,956,435	0	11	\$ 14,296,639	\$ 4,837,843	\$ 720,345	\$ 19,854,827	\$ 18,874,796	\$ 17,765,000	\$ 26,093,000	\$ 82,587,623	94.98%	18.07%
<b>Queen Anne's</b>	2,450,000	\$ 4,199,000	0	1	\$ 1,533,808	\$ 2,457,792	\$ 207,400	\$ 4,199,000	\$ -	\$ -	\$ -	\$ 4,199,000	100.00%	0.87%
<b>St. Mary's</b>	5,180,000	\$ 7,402,000	1	2	\$ 1,087,300	\$ 3,818,860	\$ 1,489,200	\$ 6,395,360	\$ -	\$ -	\$ 1,006,640	\$ 7,402,000	100.00%	1.54%
<b>Somerset</b>	3,850,000	\$ -	0	0	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -		0.00%
<b>Talbot</b>	2,320,000	\$ 841,000	0	1	\$ -	\$ 603,867	\$ -	\$ 603,867	\$ -	\$ -	\$ 237,133	\$ 841,000	100.00%	0.17%
<b>Washington</b>	6,960,000	\$ 9,850,000	0	9	\$ 3,506,650	\$ 5,958,111	\$ 169,466	\$ 9,634,227	\$ -	\$ -	\$ 215,773	\$ 9,850,000	100.00%	2.05%
<b>Wicomico</b>	7,070,000	\$ 41,075,508	0	1	\$ 5,788,112	\$ 15,260,986	\$ 4,063,937	\$ 25,113,035	\$ -	\$ -	\$ 702,473	\$ 25,815,508	62.85%	8.54%
<b>Worcester</b>	2,440,000		0	0		\$ -			\$ -	\$ -	\$ -			0.00%
<b>Baltimore City</b>	25,300,000	\$ 72,043,000	0	15	\$ 18,933,500	\$ 10,341,500	\$ 3,308,000	\$ 32,583,000	\$ -	\$ -	\$ 24,282,960	\$ 56,865,960	78.93%	14.97%
<b>Maryland School for the Blind</b>	5,150,000	\$ 8,900,000	1	1	\$ 6,544,367	\$ 2,355,633	\$ -	\$ 8,900,000	\$ -	\$ -	\$ -	\$ 8,900,000	100.00%	1.85%
<b>LEA Totals</b>	<b>274,500,000</b>	<b>510,618,284</b>	<b>14</b>	<b>116</b>	<b>\$ 156,000,000</b>	<b>\$ 92,220,582</b>	<b>\$ 32,500,000</b>	<b>280,720,582</b>	<b>19,190,013</b>	<b>\$49,849,873</b>	<b>63,214,045</b>	<b>\$ 412,974,513</b>	<b>80.88%</b>	<b>106.12%</b>
<b>Statewide Contingency Reserved</b>	5,000,000				\$ -	\$ 3,779,418		\$ 3,779,418	\$ -	\$ -	\$ -	\$ 3,779,418		
<b>Reserved for DGS Design Review Fees</b>	500,000				\$ -	\$ -	\$ 500,000	\$ 500,000	\$ -	\$ -	\$ -	\$ 500,000		
<b>Totals</b>	<b>\$ 280,000,000</b>	<b>\$ 510,618,284</b>	<b>14</b>	<b>116</b>	<b>\$ 156,000,000</b>	<b>\$ 96,000,000</b>	<b>\$ 33,000,000</b>	<b>\$ 285,000,000</b>	<b>\$ 19,190,013</b>	<b>\$ 49,849,873</b>	<b>\$ 63,214,045</b>	<b>\$ 417,253,931</b>		
<b>Total Funding Available for Allocation</b>					<b>\$285,000,000</b>				<b>\$69,039,886</b>		<b>\$ 63,214,045</b>	<b>\$ 417,253,931</b>		

**Note:** (1) The overall funding amounts for each of the funding sources reflect the final capital budget appropriation for new authorization, available prior year appropriations and the Enrollment Growth & Relocatable Classrooms Initiative. **\$1,220,582 of the \$5M targeted to be held in the Statewide Reserve has been allocated to FY 23 CIP projects, and \$3,779,418 remains unallocated.**

Approval Status: A: Designees recommendation for approval of planning or funding pending approval by the IAC B: Deferred due to fiscal constraints, but eligible for local planning or construction funding C: Deferred, and not currently eligible for planning or funding approval based on unresolved issues D: Denied, and not eligible for planning or funding approval R: Project is anticipated to be funded through the Built to Learn Act Program or may have been funded through the Healthy School Facilities Fund Program																			
LEA	Priority	NAME	Funding Status	Request Type	Anticipated Bid Date	Total Estimated Project Cost	FY 2023 Request	Net State Funding	LP Approvals	Prior Year Funding	IAC Approvals 12/16/21 New Authorization	IAC Approvals 3/1/22 New Authorization	IAC Staff Funding Recommendation 5/1/22 New Authorization	Total IAC Staff Recommendation New Authorization	IAC Staff Recommendation Prior Year Appropriations from All Fund Sources	IAC Staff Recommendation From Prior Year Appropriations	IAC Staff Recommendation 5/2/22 EGRC 23	Total 100% IAC Staff Recommendation Allocation from All Sources	Funding Code
A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T
Allegany	1	Braddock Middle SR - Elevator PSC #01.035	A	F	01/15/23	\$ 1,000,000	\$ 900,000	\$ 900,000		\$ -	\$ 190,221	\$ -	\$ -	\$ 190,221	\$ 709,779	\$ -	\$ -	\$ 900,000	e
Allegany	2	Braddock Middle SR - Electrical Upgrade PSC #01.035	A	F	01/15/23	\$ 850,000	\$ 765,000	\$ 765,000		\$ -	\$ 522,263	\$ -	\$ -	\$ 522,263	\$ 242,737	\$ -	\$ -	\$ 765,000	e
Allegany	3	Washington Middle SR - Electrical Upgrade PSC #01.034	A	F	01/15/23	\$ 850,000	\$ 765,000	\$ 765,000		\$ -	\$ 573,750	\$ 114,750	\$ 76,500	\$ 765,000	\$ -	\$ -	\$ -	\$ 765,000	e
Allegany	4	Northeast Elementary SR - Roof PSC #01.030	A	F	01/15/23	\$ 1,050,000	\$ 945,000	\$ 945,000		\$ -	\$ -	\$ 945,000	\$ -	\$ 945,000	\$ -	\$ -	\$ -	\$ 945,000	e
Allegany	5	Cash Valley Elementary SR - RTUs PSC #01.022	A	F	01/15/23	\$ 400,000	\$ 360,000	\$ 360,000		\$ -	\$ -	\$ -	\$ 360,000	\$ 360,000	\$ -	\$ -	\$ -	\$ 360,000	e
Allegany	6	Beall Elementary SR - Doors/Windows PSC #01.002	B	F	01/15/23	\$ 400,000	\$ 360,000	\$ 360,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Allegany	7	Beall Elementary SR - Chiller PSC #01.002	B	F	01/15/23	\$ 450,000	\$ 405,000	\$ 405,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Allegany Total						\$ 5,000,000	\$ 4,500,000	\$ 4,500,000		\$ -	\$ 1,286,234	\$ 1,059,750	\$ 436,500	\$ 2,782,484	\$ 952,516	\$ -	\$ -	\$ 3,735,000	
Anne Arundel	1	Quarterfield Elementary C - Replacement PSC #02.078	A	F	02/01/21	\$ 45,080,000	\$ 11,853,774	\$ 14,142,000		\$ 2,288,226	\$ 8,890,500	\$ 1,777,874	\$ 1,185,400	\$ 11,853,774	\$ -	\$ -	\$ -	\$ 11,853,774	b
Anne Arundel	2	Brock Bridge Elementary K - K Addition PSC #02.093	A	LP	05/01/21	\$ -	\$ -	\$ -	LP	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Anne Arundel	3	Brock Bridge Elementary K - K Addition PSC #02.093	A	F	05/01/21	\$ 5,910,000	\$ 1,861,000	\$ 1,861,000		\$ -	\$ 1,395,750	\$ 279,150	\$ 186,100	\$ 1,861,000	\$ -	\$ -	\$ -	\$ 1,861,000	e
Anne Arundel	4	Meade Heights Elementary K - K Addition PSC #02.066	A	LP	01/01/22	\$ -	\$ -	\$ -	LP	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Anne Arundel	5	Meade Heights Elementary K - K Addition PSC #02.066	A	F	01/01/22	\$ 4,346,000	\$ 1,524,000	\$ 1,524,000		\$ -	\$ 1,143,000	\$ 228,600	\$ 152,400	\$ 1,524,000	\$ -	\$ -	\$ -	\$ 1,524,000	e
Anne Arundel	6	Bates Middle SR - HVAC/Electrical Upgrade PSC #02.037	A	F	09/01/22	\$ 33,450,000	\$ 15,800,000	\$ 15,800,000		\$ -	\$ 3,715,593	\$ 2,246,101	\$ 2,280,000	\$ 8,241,694	\$ 10,407	\$ -	\$ 7,547,899	\$ 15,800,000	e
Anne Arundel	7	West County Elementary LP - New PSC #02.	D	LP	04/01/22	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	

LEA	Priority	NAME	Funding Status	Request Type	Anticipated Bid Date	Total Estimated Project Cost	FY 2023 Request	Net State Funding	LP Approvals	Prior Year Funding	IAC Approvals 12/16/21 New Authorization	IAC Approvals 3/1/22 New Authorization	IAC Staff Funding Recommendation 5/1/22 New Authorization	Total IAC Staff Recommendation New Authorization	IAC Staff Recommendation Prior Year Appropriations from All Fund Sources	IAC Staff Recommendation From Prior Year Appropriations	IAC Staff Recommendation 5/2/22 EGRC 23	Total 100% IAC Staff Recommendation Allocation from All Sources	Funding Code
A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T
Anne Arundel	8	West County Elementary C - New PSC #02.	D	F	04/01/22	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Anne Arundel	9	Old Mill Middle South LP - Replacement PSC #02.133	A	LP	02/01/22	\$ 85,766,000	\$ -	\$ 17,627,000	LP	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Anne Arundel	10	Glen Burnie High SR - Building Enclosure - Phase I PSC #02.020	A	F	04/01/22	\$ 4,100,000	\$ 1,945,000	\$ 1,945,000		\$ -	\$ 996,000	\$ 283,079	\$ -	\$ 1,279,079	\$ 665,921	\$ -	\$ -	\$ 1,945,000	e
Anne Arundel	11	Crofton Middle LP - Addition/Renovation PSC #02.038	A	LP	01/01/23	\$ 6,980,000	\$ -	\$ 3,321,000	LP	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Anne Arundel	12	Crofton Middle C - Addition/Renovation PSC #02.038	A	F	01/01/23	\$ 6,980,000	\$ 3,321,000	\$ 3,321,000		\$ -	\$ -	\$ -	\$ 127,059	\$ 127,059	\$ -	\$ -	\$ 3,193,941	\$ 3,321,000	e
Anne Arundel Total						\$ 192,612,000	\$ 36,304,774	\$ 59,541,000	\$ -	\$ 2,288,226	\$ 16,140,843	\$ 4,814,804	\$ 3,930,959	\$ 24,886,606	\$ 676,328	\$ -	\$ 10,741,840	\$ 36,304,774	
Baltimore	1	Deer Park Elementary LP - Replacement PSC #03.170	R	LP	07/01/22	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Baltimore	2	Deer Park Elementary C - Replacement PSC #03.170	R	F	07/01/22	\$ 52,665,000	\$ 6,915,000	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Baltimore	3	Scotts Branch Elementary LP - Replacement PSC #03.025	R	LP	11/01/22	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Baltimore	4	Scotts Branch Elementary C - Replacement PSC #03.025	R	F	11/01/22	\$ 49,840,000	\$ 1,988,000	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Baltimore	5	Dundalk High/Sollers Point Technical High LP - Addition	R	LP	01/01/23		\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Baltimore	6	Dundalk High/Sollers Point Technical High C - Addition	R	F	01/01/23	\$ 27,685,000	\$ 2,780,000	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Baltimore	7	Towson High LP - Replacement PSC #03.114	R	LP	12/01/23	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Baltimore	8	Towson High C - Replacement PSC #03.114	R	F	12/01/23	\$ 149,945,000	\$ 8,405,000	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Baltimore	9	Dulaney High LP - Replacement PSC #03.133	R	LP	12/01/23	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Baltimore	10	Dulaney High C - Replacement PSC #03.133	R	F	12/01/23	\$ 177,745,000	\$ 9,405,000	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	

LEA	Priority	NAME	Funding Status	Request Type	Anticipated Bid Date	Total Estimated Project Cost	FY 2023 Request	Net State Funding	LP Approvals	Prior Year Funding	IAC Approvals 12/16/21 New Authorization	IAC Approvals 3/1/22 New Authorization	IAC Staff Funding Recommendation 5/1/22 New Authorization	Total IAC Staff Recommendation New Authorization	IAC Staff Recommendation Prior Year Appropriations from All Fund Sources	IAC Staff Recommendation From Prior Year Appropriations	IAC Staff Recommendation 5/2/22 EGRC 23	Total 100% IAC Staff Recommendation Allocation from All Sources	Funding Code
A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T
Baltimore	11	Perry Hall High SR - Fire Safety PSC #03.011	A	F	10/01/22	\$ 1,090,000	\$ 613,000	\$ 596,925		\$ -	\$ 459,750	\$ 78,950	\$ 58,225	\$ 596,925	\$ -	\$ -	\$ -	\$ 596,925	e
Baltimore	12	Perry Hall High SR - Chiller/Electrical Upgrade PSC #03.011	A	F	10/01/22	\$ 6,535,000	\$ 3,669,000	\$ 3,648,000		\$ -	\$ 1,758,750	\$ 351,750	\$ 1,537,500	\$ 3,648,000	\$ -	\$ -	\$ -	\$ 3,648,000	e
Baltimore	13	Joppa View Elementary SR - Fire Safety PSC #03.112	A	F	10/01/22	\$ 327,000	\$ 186,000	\$ 154,130		\$ -	\$ 139,500	\$ -	\$ 14,630	\$ 154,130	\$ -	\$ -	\$ -	\$ 154,130	e
Baltimore	14	Parkville High SR - Boilers PSC #03.121	A	F	10/01/22	\$ 1,430,000	\$ 814,000	\$ 666,925		\$ -	\$ 610,500	\$ -	\$ 56,425	\$ 666,925	\$ -	\$ -	\$ -	\$ 666,925	e
Baltimore	15	Loch Raven High SR - Boiler/Chillers PSC #03.134	A	F	11/01/22	\$ 4,370,000	\$ 2,455,000	\$ 2,420,675		\$ -	\$ 1,841,250	\$ 350,250	\$ 229,175	\$ 2,420,675	\$ -	\$ -	\$ -	\$ 2,420,675	e
Baltimore	16	Battle Monument Special SR - HVAC PSC #03.172	A	F	11/01/22	\$ 7,525,000	\$ 4,224,000	\$ 4,209,000		\$ -	\$ 3,155,000	\$ 631,600	\$ 422,400	\$ 4,209,000	\$ -	\$ -	\$ -	\$ 4,209,000	e
Baltimore	17	Rosedale Center SR - Roof PSC #03.015	A	F	10/01/22	\$ 2,185,000	\$ 1,226,000	\$ 1,213,375		\$ -	\$ 919,500	\$ 183,900	\$ 109,975	\$ 1,213,375	\$ -	\$ -	\$ -	\$ 1,213,375	e
Baltimore	18	Timber Grove Elementary SR - Roof PSC #03.077	A	F	10/01/22	\$ 2,350,000	\$ 1,318,000	\$ 1,309,000		\$ -	\$ 988,500	\$ 197,700	\$ 122,800	\$ 1,309,000	\$ -	\$ -	\$ -	\$ 1,309,000	e
Baltimore	19	Milford Mill Academy SR - Roof PSC #03.098	A	F	09/01/22	\$ 7,185,000	\$ 4,017,000	\$ 4,017,000		\$ -	\$ 3,012,750	\$ 602,550	\$ 401,700	\$ 4,017,000	\$ -	\$ -	\$ -	\$ 4,017,000	e
Baltimore	20	Chesapeake High SR - HVAC PSC #03.003	A	F	03/01/23	\$ 10,500,000	\$ 5,887,000	\$ 5,887,000		\$ -	\$ 4,266,750	\$ 853,350	\$ 766,900	\$ 5,887,000	\$ -	\$ -	\$ -	\$ 5,887,000	e
Baltimore	21	Owings Mill High SR - Electrical PSC #03.073	A	F	11/01/22	\$ 1,490,000	\$ 851,000	\$ 666,925		\$ -	\$ 485,250	\$ 114,450	\$ 67,225	\$ 666,925	\$ -	\$ -	\$ -	\$ 666,925	e
Baltimore Total						\$ 502,867,000	\$ 54,753,000	\$ 24,788,955		\$ -	\$ 17,637,500	\$ 3,364,500	\$ 3,786,955	\$ 24,788,955	\$ -	\$ -	\$ -	\$ 24,788,955	
Calvert	1	Beach Elementary C - Replacement PSC #04.011	A	F	08/05/21	\$ 34,149,000	\$ 4,189,000	\$ 14,977,000		\$ 10,666,000	\$ 3,346,124	\$ 628,777	\$ 214,099	\$ 4,189,000	\$ -	\$ -	\$ -	\$ 4,189,000	b
Calvert	2	Calvert Elementary SR - HVAC PSC #04.004	A	F	01/12/22	\$ 2,906,180	\$ 1,268,685	\$ 1,487,180		\$ 218,495	\$ 1,268,685	\$ -	\$ -	\$ 1,268,685	\$ -	\$ -	\$ -	\$ 1,268,685	b
Calvert	3	Plum Point Middle SR - HVAC PSC #04.017	A	F	08/24/22	\$ 4,432,000	\$ 1,895,920	\$ 2,425,920		\$ -	\$ -	\$ 1,000,000	\$ 895,920	\$ 1,895,920	\$ -	\$ -	\$ -	\$ 1,895,920	p1
Calvert Total						\$ 41,487,180	\$ 7,353,605	\$ 18,890,100		\$ 10,884,495	\$ 4,614,809	\$ 1,628,777	\$ 1,110,019	\$ 7,353,605	\$ -	\$ -	\$ -	\$ 7,353,605	
Caroline	1	Ridgely Elementary SR - Roof PSC #05.006	A	F	05/01/22	\$ 2,316,909	\$ 1,950,000	\$ 1,950,000		\$ -	\$ 1,950,000	\$ -	\$ -	\$ 1,950,000	\$ -	\$ -	\$ -	\$ 1,950,000	e
Caroline Total						\$ 2,316,909	\$ 1,950,000	\$ 1,950,000		\$ -	\$ 1,950,000	\$ -	\$ -	\$ 1,950,000	\$ -	\$ -	\$ -	\$ 1,950,000	

LEA	Priority	NAME	Funding Status	Request Type	Anticipated Bid Date	Total Estimated Project Cost	FY 2023 Request	Net State Funding	LP Approvals	Prior Year Funding	IAC Approvals 12/16/21 New Authorization	IAC Approvals 3/1/22 New Authorization	IAC Staff Funding Recommendation 5/1/22 New Authorization	Total IAC Staff Recommendation New Authorization	IAC Staff Recommendation Prior Year Appropriations from All Fund Sources	IAC Staff Recommendation From Prior Year Appropriations	IAC Staff Recommendation 5/2/22 EGRC 23	Total 100% IAC Staff Recommendation Allocation from All Sources	Funding Code
A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T
Carroll	1	Carroll County Career & Technology Center C - Addition/Renovation PSC #06.032	A	F	04/24/20	\$ 77,084,000	\$ 10,500,000	\$ 39,507,751		\$ 19,500,000	\$ 4,619,875	\$ 3,706,253	\$ 1,827,541	\$ 10,153,669	\$ 346,331	\$ -	\$ -	\$ 10,500,000	p3
Carroll	2	Westminster East Middle C - Replacement PSC #06.004	A	F	06/03/21	\$ 59,958,000	\$ 3,736,000	\$ 25,884,245		\$ -	\$ -	\$ 1,084,790	\$ -	\$ 1,084,790	\$ -	\$ -	\$ -	\$ 1,084,790	p1
Carroll	3	Spring Garden Elementary SR - HVAC PSC #06.037	D	F	03/01/22	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Carroll	4	S. Carroll High SR - Windows/Doors PSC #06.012	A	F	03/01/23	\$ 2,455,000	\$ 1,357,000	\$ 1,357,000		\$ -	\$ -	\$ 1,000,000	\$ 357,000	\$ 1,357,000	\$ -	\$ -	\$ -	\$ 1,357,000	e
Carroll	5	Westminster High SR - Windows PSC #06.042	D	F	03/01/23	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Carroll Total						\$ 139,497,000	\$ 15,593,000	\$ 66,748,996		\$ 19,500,000	\$ 4,619,875	\$ 5,791,043	\$ 2,184,541	\$ 12,595,459	\$ 346,331	\$ -	\$ -	\$ 12,941,790	
Cecil	1	North East Middle/High LP - Replacement PSC #07.	A	LP	07/15/23	\$ -	\$ -	\$ -	LP	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Cecil	2	North East Middle/High C - Design Fees PSC #07.	A	F	07/15/23	\$ 162,170,000	\$ 4,000,000	\$ 95,119,000		\$ -	\$ 2,255,527	\$ 1,205,804	\$ -	\$ 3,461,331	\$ 538,669	\$ -	\$ -	\$ 4,000,000	p1
Cecil	3	Elkton Middle SR - Roof PSC #07.029	A	F	05/01/22	\$ -	\$ 1,376,000	\$ -		\$ -	\$ -	\$ 1,348,000	\$ -	\$ 1,348,000	\$ -	\$ -	\$ -	\$ 1,348,000	e
Cecil Total						\$ 162,170,000	\$ 5,376,000	\$ 95,119,000		\$ -	\$ 2,255,527	\$ 2,553,804	\$ -	\$ 4,809,331	\$ 538,669	\$ -	\$ -	\$ 5,348,000	
Charles	1	Eva Turner Elementary C - Renovation/Addition PSC #08.019	A	F	04/01/19	\$ 27,381,000	\$ 2,600,314	\$ 10,780,000		\$ 8,179,686	\$ 1,950,236	\$ 390,047	\$ 260,031	\$ 2,600,314	\$ -	\$ -	\$ -	\$ 2,600,314	e
Charles	2	Westlake High SR - Roof PSC #08.031	A	F	03/15/22	\$ 4,554,000	\$ 2,575,300	\$ 2,575,300		\$ -	\$ 1,931,475	\$ 386,295	\$ 257,530	\$ 2,575,300	\$ -	\$ -	\$ -	\$ 2,575,300	e
Charles	3	Indian Head Elementary SR - HVAC PSC #08.008	A	F	04/15/22	\$ 1,600,500	\$ 892,125	\$ 892,125		\$ -	\$ 669,094	\$ 133,819	\$ 89,212	\$ 892,125	\$ -	\$ -	\$ -	\$ 892,125	e
Charles	4	TC Martin Elementary C - Renovation/Addition PSC #08.040	A	F	04/01/22	\$ 36,135,000	\$ 10,229,500	\$ 20,944,000		\$ -	\$ 859,050	\$ 7,123,899	\$ -	\$ 7,982,949	\$ -	\$ -	\$ 2,246,551	\$ 10,229,500	p1
Charles	5	Elementary School #23 C - New PSC #08.049	A	F	04/01/22	\$ 45,197,000	\$ 14,275,500	\$ 21,299,000		\$ -	\$ 2,371,850	\$ 2,908,100	\$ 1,567,419	\$ 6,847,369	\$ -	\$ -	\$ 2,121,449	\$ 8,968,818	p1
Charles	6	Gen. Smallwood Middle SR - HVAC PSC #08.005	B	F	05/20/22	\$ 4,426,000	\$ 2,371,850	\$ 2,371,850		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Charles	7	La Plata High LP - Renovation/Addition PSC #08.013	R	LP	06/01/22	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	



LEA	Priority	NAME	Funding Status	Request Type	Anticipated Bid Date	Total Estimated Project Cost	FY 2023 Request	Net State Funding	LP Approvals	Prior Year Funding	IAC Approvals 12/16/21 New Authorization	IAC Approvals 3/1/22 New Authorization	IAC Staff Funding Recommendation 5/1/22 New Authorization	Total IAC Staff Recommendation New Authorization	IAC Staff Recommendation Prior Year Appropriations from All Fund Sources	IAC Staff Recommendation From Prior Year Appropriations	IAC Staff Recommendation 5/2/22 EGRC 23	Total 100% IAC Staff Recommendation Allocation from All Sources	Funding Code
A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T
Charles	8	La Plata High C - Renovation/Addition PSC #08.013	R	F	06/01/22	\$ 24,971,000	\$ 7,271,500	\$ 12,032,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Charles	9	JC Parks Elementary K - K Addition/Renovation PSC #08.030	A	LP	04/01/22	\$ -	\$ -	\$ -	LP	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Charles	10	JC Parks Elementary K - K Addition/Renovation PSC #08.030	B	F	04/01/22	\$ 4,316,000	\$ 2,125,000	\$ 1,567,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Charles	11	Walter J. Mitchell Elementary K - K Renovation/Addition PSC #08.033	C	LP	04/01/22	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Charles	12	Walter J. Mitchell Elementary K - K Renovation/Addition PSC #08.033	C	F	04/01/22	\$ 6,507,000	\$ 3,517,000	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Charles	13	Piccowaxen Middle SR - HVAC PSC #08.015	B	F	05/20/22	\$ 984,000	\$ 536,250	\$ 536,250		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Charles	14	Middle School #9 LP - New PSC #08.	C	LP	06/01/23	\$ 73,001,000	\$ -	\$ 23,075,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Charles Total						\$ 229,072,500	\$ 46,394,339	\$ 96,072,525		\$ 8,179,686	\$ 7,781,705	\$ 10,942,160	\$ 2,174,192	\$ 20,898,057	\$ -	\$ -	\$ 4,368,000	\$ 25,266,057	
Dorchester	1	South Dorchester SR - HVAC - Phase I PSC #09.012	A	F	04/01/23	\$ 10,718,710	\$ 2,153,500	\$ 8,307,000		\$ -	\$ 2,150,848	\$ -	\$ -	\$ 2,150,848	\$ 2,652	\$ -	\$ -	\$ 2,153,500	p1
Dorchester	2	Vienna Elementary SR - HVAC PSC #09.005	A	F	04/01/23	\$ 2,880,000	\$ 2,232,000	\$ 2,232,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,232,000	\$ -	\$ -	\$ 2,232,000	e
Dorchester Total						\$ 13,598,710	\$ 4,385,500	\$ 10,539,000		\$ -	\$ 2,150,848	\$ -	\$ -	\$ 2,150,848	\$ 2,234,652	\$ -	\$ -	\$ 4,385,500	
Frederick	1	Rock Creek C - Replacement PSC #10.080	A	F	11/06/19	\$ 48,306,000	\$ 8,188,024	\$ 18,891,000		\$ 10,702,976	\$ 6,141,018	\$ 1,228,204	\$ 818,802	\$ 8,188,024	\$ -	\$ -	\$ -	\$ 8,188,024	b
Frederick	2	Monocacy Elementary LP - Limited Renovation PSC #10.040	A	LP	01/00/00	\$ -	\$ -	\$ -	LP	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	0
Frederick	3	Monocacy Elementary C - Limited Renovation PSC #10.040	A	F	01/00/00	\$ 13,263,000	\$ 5,309,750	\$ 7,744,750		\$ -	\$ -	\$ 1,882,001	\$ 318,285	\$ 2,200,286	\$ 294,464	\$ -	\$ 2,815,000	\$ 5,309,750	p1
Frederick	4	Thurmont Elementary C - Limited Renovation PSC #10.015	A	F	01/00/00	\$ 9,825,102	\$ 1,439,312	\$ 4,333,000		\$ 2,893,688	\$ 1,079,484	\$ 215,897	\$ 143,931	\$ 1,439,312	\$ -	\$ -	\$ -	\$ 1,439,312	b
Frederick	5	Ballenger Creek Middle SR - Roof PSC #10.041	A	F	02/25/21	\$ 3,570,000	\$ 2,275,000	\$ 2,275,000		\$ -	\$ 1,706,250	\$ 341,250	\$ 227,500	\$ 2,275,000	\$ -	\$ -	\$ -	\$ 2,275,000	e
Frederick	6	Blue Heron Elementary C - New PSC #10.081	A	F	02/20/20	\$ 44,726,950	\$ 8,545,681	\$ 17,545,681		\$ 9,000,000	\$ -	\$ 8,227,396	\$ -	\$ 8,227,396	\$ 3,068	\$ 315,217	\$ -	\$ 8,545,681	b
Frederick Total						\$ 119,691,052	\$ 25,757,767	\$ 50,789,431		\$ 22,596,664	\$ 8,926,752	\$ 11,894,748	\$ 1,508,518	\$ 22,330,018	\$ 297,532	\$ 315,217	\$ 2,815,000	\$ 25,757,767	

LEA	Priority	NAME	Funding Status	Request Type	Anticipated Bid Date	Total Estimated Project Cost	FY 2023 Request	Net State Funding	LP Approvals	Prior Year Funding	IAC Approvals 12/16/21 New Authorization	IAC Approvals 3/1/22 New Authorization	IAC Staff Funding Recommendation 5/1/22 New Authorization	Total IAC Staff Recommendation New Authorization	IAC Staff Recommendation Prior Year Appropriations from All Fund Sources	IAC Staff Recommendation From Prior Year Appropriations	IAC Staff Recommendation 5/2/22 EGRC 23	Total 100% IAC Staff Recommendation Allocation from All Sources	Funding Code
A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T
Garrett	1	Grantsville Elementary SR - Renovation (Open Space Enclosure)	A	F	10/01/21	\$ 4,700,000	\$ 2,715,000	\$ 4,230,000		\$ 1,985,000	\$ 1,757,363	\$ 151,473	\$ 100,981	\$ 2,009,817	\$ 705,183	\$ -	\$ -	\$ 2,715,000	
Garrett	2	Southern Middle C - Planning Services PSC #11.008	A	F	01/01/23	\$ 1,000,000	\$ 500,000	\$ 150,000		\$ -	\$ 75,000	\$ -	\$ -	\$ 75,000	\$ 75,000	\$ -	\$ -	\$ 150,000	
Garrett Total						\$ 5,700,000	\$ 3,215,000	\$ 4,380,000		\$ 1,985,000	\$ 1,832,363	\$ 151,473	\$ 100,981	\$ 2,084,817	\$ 780,183	\$ -	\$ -	\$ 2,865,000	
Harford	1	Harford Technical High LP - Limited Renovation PSC #12.008	A	LP	10/31/23	\$ -	\$ -	\$ -	LP	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Harford	2	Harford Technical High C - Limited Renovation PSC #12.008	A	F	10/31/23	\$ 45,968,375	\$ 10,000,000	\$ 24,121,000		\$ -	\$ 4,165,845	\$ -	\$ 4,018,700	\$ 8,184,545	\$ 1,815,455	\$ -	\$ -	\$ 10,000,000	p1
Harford	3	Meadowvale Elementary SR - Chiller PSC #12.053	A	F	01/00/00	\$ 865,000	\$ 436,000	\$ 436,000		\$ -	\$ 436,000	\$ -	\$ -	\$ 436,000	\$ -	\$ -	\$ -	\$ 436,000	e
Harford	4	Bakerfield Elementary SR - Chiller PSC #12.044	A	F	01/00/00	\$ 1,252,000	\$ 631,000	\$ 631,000		\$ -	\$ 631,000	\$ -	\$ -	\$ 631,000	\$ -	\$ -	\$ -	\$ 631,000	e
Harford Total						\$ 48,085,375	\$ 11,067,000	\$ 25,188,000		\$ -	\$ 5,232,845	\$ -	\$ 4,018,700	\$ 9,251,545	\$ 1,815,455	\$ -	\$ -	\$ 11,067,000	
Howard	1	High School #13 C - New PSC #13.090	A	F	12/01/19	\$ 131,347,600	\$ 9,310,874	\$ 52,310,874		\$ 43,000,000	\$ 6,983,156	\$ 1,396,631	\$ 931,087	\$ 9,310,874	\$ -	\$ -	\$ -	\$ 9,310,874	b
Howard	2	Gorman Crossing Elementary SR - Roof PSC #13.068	C	F	09/01/22	\$ 3,239,857	\$ 1,649,382	\$ 1,649,382		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	0
Howard	3	Guilford Elementary SR - Windows/Doors PSC #13.033	A	F	09/15/22	\$ 1,573,000	\$ 800,800	\$ 800,800		\$ -	\$ 800,800	\$ -	\$ -	\$ 800,800	\$ -	\$ -	\$ -	\$ 800,800	e
Howard	4	Jeffers Hill Elementary SR - Boiler PSC #13.014	A	F	12/15/22	\$ 693,000	\$ 369,600	\$ 369,600		\$ -	\$ 369,600	\$ -	\$ -	\$ 369,600	\$ -	\$ -	\$ -	\$ 369,600	e
Howard	5	Manor Woods Elementary SR - HVAC PSC #13.052	A	F	09/15/22	\$ 11,550,000	\$ 6,160,000	\$ 6,160,000		\$ -	\$ 5,160,967	\$ -	\$ -	\$ 5,160,967	\$ -	\$ -	\$ 999,033	\$ 6,160,000	e
Howard Total						\$ 148,403,457	\$ 18,290,656	\$ 61,290,656		\$ 43,000,000	\$ 13,314,523	\$ 1,396,631	\$ 931,087	\$ 15,642,241	\$ -	\$ -	\$ 999,033	\$ 16,641,274	
Kent	1	Kent County High SR - Roof - Phase I PSC #14.007	A	F	01/01/22	\$ 7,581,000	\$ 2,074,000	\$ 3,610,000		\$ -	\$ 1,624,300	\$ -	\$ -	\$ 1,624,300	\$ 449,700	\$ -	\$ -	\$ 2,074,000	p1
Kent Total						\$ 7,581,000	\$ 2,074,000	\$ 3,610,000		\$ -	\$ 1,624,300	\$ -	\$ -	\$ 1,624,300	\$ 449,700	\$ -	\$ -	\$ 2,074,000	
Montgomery	1	Sligo Middle SR - HVAC PSC #15.235	A	F	04/01/23	\$ 9,000,000	\$ 4,500,000	\$ 4,500,000		\$ -	\$ 3,375,000	\$ 675,000	\$ 450,000	\$ 4,500,000	\$ -	\$ -	\$ -	\$ 4,500,000	e

LEA	Priority	NAME	Funding Status	Request Type	Anticipated Bid Date	Total Estimated Project Cost	FY 2023 Request	Net State Funding	LP Approvals	Prior Year Funding	IAC Approvals 12/16/21 New Authorization	IAC Approvals 3/1/22 New Authorization	IAC Staff Funding Recommendation 5/1/22 New Authorization	Total IAC Staff Recommendation New Authorization	IAC Staff Recommendation Prior Year Appropriations from All Fund Sources	IAC Staff Recommendation From Prior Year Appropriations	IAC Staff Recommendation 5/2/22 EGRC 23	Total 100% IAC Staff Recommendation Allocation from All Sources	Funding Code
A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T
Montgomery	2	White Oak Middle SR - HVAC PSC #15.119	A	F	04/01/23	\$ 9,000,000	\$ 4,500,000	\$ 4,500,000		\$ -	\$ 3,375,000	\$ 675,000	\$ 450,000	\$ 4,500,000	\$ -	\$ -	\$ -	\$ 4,500,000	e
Montgomery	3	Westland Middle SR - HVAC PSC #15.215	A	F	04/01/23	\$ 9,000,000	\$ 4,500,000	\$ 4,500,000		\$ -	\$ 3,375,000	\$ 675,000	\$ 450,000	\$ 4,500,000	\$ -	\$ -	\$ -	\$ 4,500,000	e
Montgomery	4	Flower Valley Elementary SR - HVAC PSC #15.217	A	F	04/01/24	\$ 4,000,000	\$ 2,000,000	\$ 2,000,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,000,000	\$ 2,000,000	
Montgomery	5	Harmony Hills Elementary SR - HVAC PSC #15.050	A	F	04/01/24	\$ 4,000,000	\$ 2,000,000	\$ 2,000,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,000,000	\$ 2,000,000	
Montgomery	6	Springbrook High SR - HVAC PSC #15.186	A	F	04/01/24	\$ 3,500,000	\$ 1,750,000	\$ 1,750,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,750,000	\$ 1,750,000	
Montgomery	7	James Hubert Blake High SR - Roof PSC #15.226	A	F	09/01/23	\$ 3,268,000	\$ 1,634,000	\$ 1,634,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,634,000	\$ 1,634,000	e
Montgomery	8	John F. Kennedy High SR - Roof - Phase I PSC #15.172	A	F	09/01/23	\$ 2,689,000	\$ 1,344,500	\$ 1,344,500		\$ -	\$ 1,008,375	\$ 201,675	\$ 134,450	\$ 1,344,500	\$ -	\$ -	\$ -	\$ 1,344,500	e
Montgomery	9	Montgomery Blair High SR - Roof - Phase II PSC #15.171	A	F	09/01/23	\$ 2,641,000	\$ 1,320,500	\$ 1,320,500		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,320,500	\$ 1,320,500	e
Montgomery	10	Diamond Elementary SR - Roof PSC #15.104	A	F	09/01/23	\$ 1,858,000	\$ 929,000	\$ 929,000		\$ -	\$ 696,750	\$ 139,350	\$ 92,900	\$ 929,000	\$ -	\$ -	\$ -	\$ 929,000	e
Montgomery	11	Northwest High SR - Roof PSC #15.239	A	F	09/01/23	\$ 1,797,000	\$ 898,500	\$ 898,500		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 898,500	\$ 898,500	e
Montgomery	12	Rock View Elementary SR - Roof PSC #15.244	A	F	09/01/23	\$ 1,650,000	\$ 825,000	\$ 825,000		\$ -	\$ 618,750	\$ 123,750	\$ 82,500	\$ 825,000	\$ -	\$ -	\$ -	\$ 825,000	e
Montgomery	13	Woodfield Elementary SR - Roof PSC #15.143	A	F	09/01/23	\$ 1,515,000	\$ 757,500	\$ 757,500		\$ -	\$ 568,125	\$ 113,625	\$ 75,750	\$ 757,500	\$ -	\$ -	\$ -	\$ 757,500	e
Montgomery	14	Harmony Hills Elementary SR - Roof PSC #15.050	A	F	09/01/23	\$ 1,325,000	\$ 662,500	\$ 662,500		\$ -	\$ 496,875	\$ 99,375	\$ 66,250	\$ 662,500	\$ -	\$ -	\$ -	\$ 662,500	e



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A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T
Montgomery	15	Westover Elementary SR - Roof PSC #15.232	A	F	09/01/23	\$ 1,270,000	\$ 635,000	\$ 635,000		\$ -	\$ 476,250	\$ 95,250	\$ 63,500	\$ 635,000	\$ -	\$ -	\$ -	\$ 635,000	e
Montgomery	16	East Silver Spring Elementary SR - Roof PSC #15.108	A	F	09/01/23	\$ 949,000	\$ 474,500	\$ 474,500		\$ -	\$ 355,875	\$ 71,175	\$ 47,450	\$ 474,500	\$ -	\$ -	\$ -	\$ 474,500	e
Montgomery	17	Wingate Elementary SR - Roof PSC #15.075	A	F	09/01/23	\$ 724,000	\$ 362,000	\$ 362,000		\$ -	\$ 271,500	\$ 54,300	\$ 36,200	\$ 362,000	\$ -	\$ -	\$ -	\$ 362,000	e
Montgomery	18	Ritchie Park Elementary SR - Roof PSC #15.139	A	F	09/01/23	\$ 539,000	\$ 269,500	\$ 269,500		\$ -	\$ 202,125	\$ 40,425	\$ 26,950	\$ 269,500	\$ -	\$ -	\$ -	\$ 269,500	e
Montgomery	19	Meadow Hall Elementary SR - Roof PSC #15.250	A	F	09/01/23	\$ 325,000	\$ 162,500	\$ 162,500		\$ -	\$ 121,875	\$ 24,375	\$ 16,250	\$ 162,500	\$ -	\$ -	\$ -	\$ 162,500	e
Montgomery	20	John F. Kennedy High C - Addition/Renovation PSC #15.172	A	F	11/30/20	\$ 26,578,000	\$ 2,584,700	\$ 4,471,000		\$ 1,886,300	\$ -	\$ -	\$ -	\$ -	\$ 2,584,700	\$ -	\$ -	\$ 2,584,700	b
Montgomery	21	McNair (Ronald) Elementary LP - Renovation/Addition PSC #15.162	A	LP	12/13/21	\$ -	\$ -	\$ -	LP	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Montgomery	22	McNair (Ronald) Elementary C - Renovation/Addition PSC #15.162	A	F	12/13/21	\$ 11,403,000	\$ 4,458,000	\$ 3,558,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,558,000	\$ 3,558,000	e
Montgomery	23	Parkland Middle LP - Addition PSC #15.212	A	LP	01/31/22	\$ -	\$ -	\$ -	LP	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Montgomery	24	Parkland Middle C - Addition PSC #15.212	A	F	01/31/22	\$ 14,638,000	\$ 5,769,000	\$ 1,591,000		\$ -	\$ -	\$ -	\$ 367,000	\$ 367,000	\$ -	\$ -	\$ -	\$ 367,000	e
Montgomery	25	South Lake Elementary LP - Addition/Renovation PSC #15.086	D	LP	09/22/21	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Montgomery	26	South Lake Elementary C - Addition/Renovation PSC #15.086	D	F	09/22/21	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	

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A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T
Montgomery	27	Burnt Mills Elementary LP - Replacement PSC #15.208	D	LP	09/23/21	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Montgomery	28	Burnt Mills Elementary C - Replacement PSC #15.208	D	F	09/23/21	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Montgomery	29	Neelsville Middle LP - Replacement PSC #15.136	D	LP	03/08/22	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Montgomery	30	Neelsville Middle C - Replacement PSC #15.136	D	F	03/08/22	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Montgomery	31	Page (William T.) Elementary LP - Addition PSC #15.102	D	LP	04/01/22	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Montgomery	32	Page (William T.) Elementary C - Addition PSC #15.102	D	F	04/01/22	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Montgomery	33	Poolesville High LP - Addition/Renovation PSC #15.066	D	LP	11/05/21	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Montgomery	34	Poolesville High C - Addition/Renovation PSC #15.066	D	F	11/05/21	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Montgomery	35	Woodlin Elementary LP - Replacement PSC #15.011	D	LP	10/06/21	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Montgomery	36	Woodlin Elementary C - Replacement PSC #15.011	D	F	10/06/21	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Montgomery	37	Stonegate Elementary LP - Replacement PSC #15.252	D	LP	10/07/21	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Montgomery	38	Stonegate Elementary C - Replacement PSC #15.252	D	F	10/07/21	\$ -	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	

LEA	Priority	NAME	Funding Status	Request Type	Anticipated Bid Date	Total Estimated Project Cost	FY 2023 Request	Net State Funding	LP Approvals	Prior Year Funding	IAC Approvals 12/16/21 New Authorization	IAC Approvals 3/1/22 New Authorization	IAC Staff Funding Recommendation 5/1/22 New Authorization	Total IAC Staff Recommendation New Authorization	IAC Staff Recommendation Prior Year Appropriations from All Fund Sources	IAC Staff Recommendation From Prior Year Appropriations	IAC Staff Recommendation 5/2/22 EGRC 23	Total 100% IAC Staff Recommendation Allocation from All Sources	Funding Code
A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T
Montgomery	39	Crown High LP - New PSC #15.	R	LP	07/01/23	\$ 136,302,000	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Montgomery	40	Highland View Elementary LP - Addition PSC #15.101	C	LP	01/00/00	\$ 16,775,000	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Montgomery	41	JoAnn Leleck Elementary at Broad Acres LP - New PSC #15.035	C	LP	01/00/00	\$ 28,338,000	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Montgomery	42	Northwood High LP - Replacement PSC #15.046	C	LP	01/00/00	\$ 138,356,000	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Montgomery	43	Silver Spring International Middle LP - Addition/Renovation PSC #15.002	A	LP	03/01/23	\$ 19,140,000	\$ -	\$ 2,651,000	LP	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Montgomery	44	Westbrook Elementary LP - Renovation PSC #15.017	A	LP	01/00/00	\$ 4,391,000	\$ -	\$ 1,275,000	LP	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Montgomery Total						\$ 454,971,000	\$ 42,336,700	\$ 43,071,000		\$ 1,886,300	\$ 14,941,500	\$ 2,988,300	\$ 2,359,200	\$ 20,289,000	\$ 2,584,700	\$ -	\$ 13,161,000	\$ 36,034,700	
Prince George's	1	William Wirt Middle C - Replacement PSC #16.183	A	F	03/31/22	\$ 94,057,000	\$ 811,295	\$ 42,516,000		\$ 41,704,705	\$ 811,295	\$ -	\$ -	\$ 811,295	\$ -	\$ -	\$ -	\$ 811,295	b
Prince George's	2	New Glenridge Middle C - New PSC #16.265	A	F	02/15/21	\$ 93,081,000	\$ 1,048,140	\$ 41,853,000		\$ 40,804,860	\$ 1,048,140	\$ -	\$ -	\$ 1,048,140	\$ -	\$ -	\$ -	\$ 1,048,140	b
Prince George's	3	William Schmidt Outdoor Educational Center C - Replacement/Renovation PSC #16.199	A	F	03/31/22	\$ 48,525,000	\$ 19,037,000	\$ 21,819,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ 19,037,000	\$ -	\$ -	\$ 19,037,000	p1
Prince George's	4	Suitland High C - Replacement PSC #16.087	A	F	04/30/22	\$ 257,364,000	\$ 27,502,000	\$ 75,946,000		\$ -	\$ -	\$ 226	\$ 63,345	\$ 63,571	\$ -	\$ 18,874,796	\$ 8,536,000	\$ 27,474,367	p1
Prince George's	5	Cool Spring Elementary LP - Renovation/Addition PSC #16.134	C	LP	06/30/22	\$ 89,929,000	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Prince George's	6	New Northern Adelphi Area High LP - Replacement PSC #16.268	B	LP	06/30/23	\$ 262,443,000	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Prince George's	7	High Point High LP - Renovation/Addition PSC #16.085	C	LP	08/15/27	\$ 258,539,000	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	

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A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T
Prince George's	8	Margaret Brent Regional Elementary LP - Replacement PSC #16.100	C	LP	08/15/24	\$ 71,887,000	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Prince George's	9	International High at Langley Park LP - New PSC #16.266	B	LP	08/15/28	\$ 40,627,000	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Prince George's	10	Wheatley (H. Winship) Early Childhood Center SR - HVAC PSC #16.017	A	F	12/31/22	\$ 14,000,000	\$ 10,220,000	\$ 10,220,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,237,000	\$ -	\$ 7,983,000	\$ 10,220,000	e
Prince George's	11	Charles Flowers High SR - HVAC/Roof - Phase I PSC #16.174	A	F	12/31/22	\$ 17,100,000	\$ 12,483,000	\$ 12,483,000		\$ -	\$ 920,704	\$ 2,402,117	\$ -	\$ 3,322,821	\$ 4,819,000	\$ -	\$ -	\$ 8,141,821	p1
Prince George's	12	Williams (Phyllis E.) Elementary SR - HVAC PSC #16.050	A	F	12/31/22	\$ 9,000,000	\$ 6,570,000	\$ 6,570,000		\$ -	\$ 3,681,500	\$ 985,500	\$ 657,000	\$ 5,324,000	\$ -	\$ -	\$ 1,246,000	\$ 6,570,000	e
Prince George's	13	Rosa L. Parks Elementary C - Replacement/FF PSC #16.253	A	F	01/00/00	\$ 18,396,000	\$ 2,609,000	\$ 9,615,000		\$ 7,006,000	\$ 2,609,000	\$ -	\$ -	\$ 2,609,000	\$ -	\$ -	\$ -	\$ 2,609,000	b
Prince George's	14	Mary Harris Mother Jones Elementary C - New/FF PSC #16.231	A	F	01/00/00	\$ 14,936,000	\$ 1,450,000	\$ 7,755,000		\$ 6,305,000	\$ -	\$ 1,450,000	\$ -	\$ 1,450,000	\$ -	\$ -	\$ -	\$ 1,450,000	b
Prince George's	15	Lake Arbor Elementary C - New/FF PSC #16.234	A	F	01/00/00	\$ 13,897,000	\$ 3,140,000	\$ 6,204,000		\$ 3,064,000	\$ 3,140,000	\$ -	\$ -	\$ 3,140,000	\$ -	\$ -	\$ -	\$ 3,140,000	b
Prince George's	16	Suitland Elementary C - Replacement/FF PSC #16.232	A	F	01/00/00	\$ 16,716,000	\$ 2,086,000	\$ 7,816,000		\$ 5,730,000	\$ 2,086,000	\$ -	\$ -	\$ 2,086,000	\$ -	\$ -	\$ -	\$ 2,086,000	b
Prince George's Total						\$ 1,320,497,000	\$ 86,956,435	\$ 242,797,000		\$ 104,614,565	\$ 14,296,639	\$ 4,837,843	\$ 720,345	\$ 19,854,827	\$ 26,093,000	\$ 18,874,796	\$ 17,765,000	\$ 82,587,623	
Queen Anne's	1	Queen Anne's County High SR - Roof PSC #17.001	A	F	02/01/23	\$ 9,150,950	\$ 4,199,000	\$ 4,199,000		\$ -	\$ 1,533,808	\$ 2,457,792	\$ 207,400	\$ 4,199,000	\$ -	\$ -	\$ -	\$ 4,199,000	e
Queen Anne's Total						\$ 9,150,950	\$ 4,199,000	\$ 4,199,000		\$ -	\$ 1,533,808	\$ 2,457,792	\$ 207,400	\$ 4,199,000	\$ -	\$ -	\$ -	\$ 4,199,000	
St. Mary's	1	Town Creek Elementary SR - HVAC PSC #18.015	A	F	12/20/22	\$ 4,691,900	\$ 2,432,000	\$ 2,432,000		\$ -	\$ 817,300	\$ 364,860	\$ 243,200	\$ 1,425,360	\$ 1,006,640	\$ -	\$ -	\$ 2,432,000	e
St. Mary's	2	Lettie Marshall Dent Elementary LP - Limited Renovation PSC #18.017	A	LP	02/01/23	\$ -	\$ -	\$ -	LP	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
St. Mary's	3	Lettie Marshall Dent Elementary C - Limited Renovation PSC #18.017	A	F	02/20/23	\$ 9,595,000	\$ 4,970,000	\$ 4,970,000		\$ -	\$ 270,000	\$ 3,454,000	\$ 1,246,000	\$ 4,970,000	\$ -	\$ -	\$ -	\$ 4,970,000	e
St. Mary's Total						\$ 14,286,900	\$ 7,402,000	\$ 7,402,000		\$ -	\$ 1,087,300	\$ 3,818,860	\$ 1,489,200	\$ 6,395,360	\$ 1,006,640	\$ -	\$ -	\$ 7,402,000	

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A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T
Talbot	1	Easton High SR - Roof - Phase II PSC #20.002	A	F	03/01/21	\$ 4,302,900	\$ 841,000	\$ 2,049,000		\$ 1,208,000	\$ -	\$ 603,867	\$ -	\$ 603,867	\$ 237,133	\$ -	\$ -	\$ 841,000	p1
Talbot Total						\$ 4,302,900	\$ 841,000	\$ 2,049,000		\$ 1,208,000	\$ -	\$ 603,867	\$ -	\$ 603,867	\$ 237,133	\$ -	\$ -	\$ 841,000	
Washington	1	Williamsport High SR - Roof PSC #21.031	A	F	01/09/23	\$ 4,358,000	\$ 3,074,000	\$ 3,074,000		\$ -	\$ 2,420,445	\$ 484,089	\$ 169,466	\$ 3,074,000	\$ -	\$ -	\$ -	\$ 3,074,000	e
Washington	2	Smithsburg Middle SR - Roof PSC #21.008	A	F	01/16/23	\$ 3,434,000	\$ 2,422,000	\$ 2,422,000		\$ -	\$ 1,086,205	\$ 1,120,022	\$ -	\$ 2,206,227	\$ 215,773	\$ -	\$ -	\$ 2,422,000	e
Washington	3	Williamsport Elementary SR - Roof PSC #21.029	A	F	01/23/23	\$ 2,230,000	\$ 1,573,000	\$ 1,573,000		\$ -	\$ -	\$ 1,573,000	\$ -	\$ 1,573,000	\$ -	\$ -	\$ -	\$ 1,573,000	e
Washington	4	Hancock Middle/High SR - HVAC PSC #21.025	A	F	01/09/23	\$ 878,000	\$ 608,000	\$ 608,000		\$ -	\$ -	\$ 608,000	\$ -	\$ 608,000	\$ -	\$ -	\$ -	\$ 608,000	e
Washington	5	Williamsport High SR - Electrical Upgrade PSC #21.031	A	F	01/23/23	\$ 544,000	\$ 377,000	\$ 377,000		\$ -	\$ -	\$ 377,000	\$ -	\$ 377,000	\$ -	\$ -	\$ -	\$ 377,000	e
Washington	6	Williamsport Elementary SR - Boilers PSC #21.029	A	F	01/09/23	\$ 434,000	\$ 301,000	\$ 301,000		\$ -	\$ -	\$ 301,000	\$ -	\$ 301,000	\$ -	\$ -	\$ -	\$ 301,000	e
Washington	7	North Hagerstown High SR - Windows & Masonry PSC #21.024	A	F	01/09/23	\$ 1,140,000	\$ 790,000	\$ 790,000		\$ -	\$ -	\$ 790,000	\$ -	\$ 790,000	\$ -	\$ -	\$ -	\$ 790,000	e
Washington	8	Boonsboro Middle SR - Electrical Upgrade PSC #21.010	A	F	01/09/23	\$ 618,000	\$ 428,000	\$ 428,000		\$ -	\$ -	\$ 428,000	\$ -	\$ 428,000	\$ -	\$ -	\$ -	\$ 428,000	e
Washington	9	Emma K. Doub Elementary SR - Electrical Upgrade PSC #21.032	A	F	01/16/23	\$ 400,000	\$ 277,000	\$ 277,000		\$ -	\$ -	\$ 277,000	\$ -	\$ 277,000	\$ -	\$ -	\$ -	\$ 277,000	e
Washington Total						\$ 14,036,000	\$ 9,850,000	\$ 9,850,000		\$ -	\$ 3,506,650	\$ 5,958,111	\$ 169,466	\$ 9,634,227	\$ 215,773	\$ -	\$ -	\$ 9,850,000	
Wicomico	1	Mardela Middle/High C - Renovation/Addition PSC #22.018	A	F	01/00/00	\$ 72,127,500	\$ 25,815,508	\$ 52,536,000		\$ -	\$ 5,788,112	\$ 15,260,986	\$ 4,063,937	\$ 25,113,035	\$ 702,473	\$ -	\$ -	\$ 25,815,508	p1
Wicomico	2	Wicomico High SR - Roof PSC #22.009	B	F	01/00/00	\$ 10,287,000	\$ 9,291,000	\$ 9,291,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Wicomico	3	Parkside High SR - Roof PSC #22.001	B	F	01/00/00	\$ 6,609,000	\$ 5,969,000	\$ 5,969,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	0
Wicomico Total						\$ 89,023,500	\$ 41,075,508	\$ 67,796,000		\$ -	\$ 5,788,112	\$ 15,260,986	\$ 4,063,937	\$ 25,113,035	\$ 702,473	\$ -	\$ -	\$ 25,815,508	
Baltimore City	1	Armistead Gardens PK-8 #243 C - Addition/Renovation PSC #30.186	A	F	04/01/22	\$ 42,588,000	\$ 10,000,000	\$ 37,161,000		\$ 5,000,000	\$ 7,500,000	\$ 1,500,000	\$ 1,000,000	\$ 10,000,000	\$ -	\$ -	\$ -	\$ 10,000,000	p2

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A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T
Baltimore City	2	Maree G. Farring PK-8 #203 C - Renovation/Addition PSC #30.159	A	F	03/01/22	\$ 13,000,000	\$ 2,250,000	\$ 8,250,000		\$ 3,996,000	\$ 1,687,500	\$ 337,500	\$ 225,000	\$ 2,250,000	\$ -	\$ -	\$ -	\$ 2,250,000	p2
Baltimore City	3	Furley Elementary #206 C - Replacement PSC #30.256	A	F	04/01/22	\$ 35,308,000	\$ 7,000,000	\$ 27,446,000		\$ 5,000,000	\$ 5,250,000	\$ 1,050,000	\$ 700,000	\$ 7,000,000	\$ -	\$ -	\$ -	\$ 7,000,000	p2
Baltimore City	4	Northeast Middle Building #049 C - Renovation PSC #30.137	A	F	04/01/22	\$ 17,816,000	\$ 5,000,000	\$ 22,615,000		\$ -	\$ 2,000,000	\$ 504,000	\$ -	\$ 2,504,000	\$ -	\$ -	\$ -	\$ 2,504,000	p1
Baltimore City	5	Roland Park PreK-8 #233 SR - Structural Repair: Boiler Room PSC #30.009	A	F	02/01/23	\$ 2,496,000	\$ 2,496,000	\$ 2,496,000		\$ -	\$ 2,496,000	\$ -	\$ -	\$ 2,496,000	\$ -	\$ -	\$ -	\$ 2,496,000	e
Baltimore City	6	Benjamin Franklin Building #239 LP - Renovation & Addition PSC #30.099	C	LP	11/01/23	\$ 80,000,000	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Baltimore City	7	Edmondson High School Building #400A LP - Renovation PSC #30.246	C	LP	11/01/23	\$ 89,450,000	\$ -	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Baltimore City	8	Thomas Jefferson PreK-8 #232 SR - HVAC/Windows/Doors/Fire Safety PSC #30.090	A	F	02/01/23	\$ 5,900,000	\$ 5,664,000	\$ 5,664,000		\$ -	\$ -	\$ 5,664,000	\$ -	\$ 5,664,000	\$ -	\$ -	\$ -	\$ 5,664,000	e
Baltimore City	9	Westport Academy PreK-8 #225 SR - Elevator PSC #30.082	A	F	02/01/23	\$ 450,000	\$ 432,000	\$ 432,000		\$ -	\$ -	\$ 432,000	\$ -	\$ 432,000	\$ -	\$ -	\$ -	\$ 432,000	e
Baltimore City	10	Mount Washington Building #221 SR - Roof PSC #30.268	A	F	02/01/23	\$ 1,193,000	\$ 1,145,000	\$ 1,145,000		\$ -	\$ -	\$ 854,000	\$ -	\$ 854,000	\$ 291,000	\$ -	\$ -	\$ 1,145,000	e
Baltimore City	11	Liberty PreK-5 #064 SR - Boilers Chillers PSC #30.135	A	F	02/01/23	\$ 1,000,000	\$ 960,000	\$ 960,000		\$ -	\$ -	\$ -	\$ 960,000	\$ 960,000	\$ -	\$ -	\$ -	\$ 960,000	e
Baltimore City	12	Gardenville Elementary #211 SR - Elevator PSC #30.161	A	F	02/01/23	\$ 450,000	\$ 432,000	\$ 432,000		\$ -	\$ -	\$ -	\$ 423,000	\$ 423,000	\$ -	\$ -	\$ -	\$ 423,000	e
Baltimore City	13	Dr. Nathan A. Pitts-Ashburton PreK-8 #058 SR - HVAC PSC #30.218	B	F	02/01/23	\$ 6,600,000	\$ 6,336,000	\$ 6,336,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	

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A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T
Baltimore City	14	Hampden PreK-8 #055 SR - Elevator PSC #30.030	B	F	02/01/23	\$ 450,000	\$ 432,000	\$ 432,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Baltimore City	15	Francis M. Wood Building #178 SR - Elevator PSC #30.115	B	F	02/01/23	\$ 450,000	\$ 432,000	\$ 432,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Baltimore City	16	Paul Laurence Dunbar High #414 SR - Air Handling Units PSC #30.128	D	F	02/01/23	\$ 1,500,000	\$ 1,440,000	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Baltimore City	17	Morrell Park PreK-8 #220 SR - Elevator PSC #30.149	B	F	02/01/23	\$ 450,000	\$ 432,000	\$ 432,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Baltimore City	18	Mergenthaler Vocational-Technical High CTE #410 SR - Elevator PSC #30.226	B	F	02/01/23	\$ 450,000	\$ 432,000	\$ 432,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Baltimore City	19	Mary Ann Winterling Elementary #150 SR - Fire Alarm PSC #30.225	B	F	02/01/23	\$ 300,000	\$ 288,000	\$ 288,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Baltimore City	20	Edmondson High #400A SR - Pool PSC #30.246	C	F	02/01/23	\$ 3,000,000	\$ 2,880,000	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Baltimore City	21	Harlem Park PreK-8 #035 SR - HVAC -Design PSC #30.277	A	F	01/00/00	\$ 806,000	\$ 773,800	\$ 773,800		\$ -	\$ -	\$ -	\$ -	\$ -	\$ 773,760	\$ -	\$ -	\$ 773,760	e
Baltimore City	22	Franklin Square PreK-8 #095 SR - HVAC/Windows/Doors PSC #30.243	A	F	01/00/00	\$ 9,450,000	\$ 9,072,000	\$ 9,072,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ 9,072,000	\$ -	\$ -	\$ 9,072,000	e
Baltimore City	23	Curtis Bay PreK-8 #207 SR - HVAC/Roof - Design PSC #30.248	A	F	01/00/00	\$ 945,000	\$ 907,200	\$ 907,200		\$ -	\$ -	\$ -	\$ -	\$ -	\$ 907,200	\$ -	\$ -	\$ 907,200	e
Baltimore City	26	George Washington Elementary #022 SR - Roof/Windows/Doors/HVAC/Fir e Safety PSC #30.177	A	F	01/00/00	\$ 5,616,000	\$ 5,391,000	\$ 5,391,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ 5,391,000	\$ -	\$ -	\$ 5,391,000	e
Baltimore City	27	Walbrook Building #411 SR - Roof PSC #30.188	A	F	01/00/00	\$ 8,175,000	\$ 7,848,000	\$ 7,848,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ 7,848,000	\$ -	\$ -	\$ 7,848,000	e



LEA	Priority	NAME	Funding Status	Request Type	Anticipated Bid Date	Total Estimated Project Cost	FY 2023 Request	Net State Funding	LP Approvals	Prior Year Funding	IAC Approvals 12/16/21 New Authorization	IAC Approvals 3/1/22 New Authorization	IAC Staff Funding Recommendation 5/1/22 New Authorization	Total IAC Staff Recommendation New Authorization	IAC Staff Recommendation Prior Year Appropriations from All Fund Sources	IAC Staff Recommendation From Prior Year Appropriations	IAC Staff Recommendation 5/2/22 EGRC 23	Total 100% IAC Staff Recommendation Allocation from All Sources	Funding Code
A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T
Baltimore City Total						\$ 327,843,000	\$ 72,043,000	\$ 138,945,000		\$ 13,996,000	\$ 18,933,500	\$ 10,341,500	\$ 3,308,000	\$ 32,583,000	\$ 24,282,960	\$ -	\$ -	\$ 56,865,960	
Maryland School for the Blind	1	Residential Cottages on the Hill LP - Replacement PSC #25.001	A	LP	05/31/22	\$ -	\$ -	\$ -	LP	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Maryland School for the Blind	2	Residential Cottages on the Hill C - Replacement PSC #25.001	A	F	05/31/22	\$ 23,191,000	\$ 8,900,000	\$ 22,305,000		\$ -	\$ 6,544,367	\$ 2,355,633	\$ -	\$ 8,900,000	\$ -	\$ -	\$ -	\$ 8,900,000	e
MD School for the Blind Total						\$ 23,191,000	\$ 8,900,000	\$ 22,305,000		\$ -	\$ 6,544,367	\$ 2,355,633	\$ -	\$ 8,900,000	\$ -	\$ -	\$ -	\$ 8,900,000	
Statewide	1	Statewide Reserved Appropriations - PSC #35.994								\$ -	\$ -	\$ 3,779,418	\$ -	\$ 3,779,418	\$ -	\$ -	\$ -	\$ 3,779,418	
Design Review	2	Outsource - Design Review - PSC #35.998								\$ -	\$ -	\$ -	\$ 500,000	\$ 500,000	\$ -	\$ -	\$ -	\$ 500,000	
Grand Total						\$ 3,875,384,433	\$ 510,618,284	\$ 1,061,821,663		\$ 230,138,936	\$ 156,000,000	\$ 96,000,000	\$ 33,000,000	\$ 285,000,000	\$ 63,214,045	\$ 19,190,013	\$ 49,849,873	\$ 417,253,931	



**Item 6. Baltimore City Extra \$15 Million for HVAC Project Status Report**

---

**Motion:**

This item is informational and does not require IAC action.

**Background Information:**

Please see the attached report dated as of May 3, 2022 – ***Baltimore City E15M HVAC Status Report.***

Baltimore City E15M HVAC Status Report			Project Schedule		Project Phase					Project Status							Contract Status					
			Approved	FinishConstruct	Procurement	Design	Procurement	Construct	CurrentTask	Behind > 2months	Behind <2 months	Behind < 1 month	On-Time	Ahead	Operational	Design Contracts			Construct Contracts			
																Approved	Contracted	Expended	Approved	Contracted	Expended	
SchoolName	ScopeOfWork	Allocation																				
Benjamin Franklin HS #239	Boiler replacement	\$67,965	02/12/19	08/01/20					OPERATIONAL 04/2020							09/12/19	\$67,965	\$67,965	-	-	-	
Callaway ES #251	Unit vent replacement	\$1,611,887	02/12/19	07/01/23					DESIGN							06/14/19	\$111,887	\$31,416	-	-	-	
Commodore John Rodgers EM #027	Chiller, cooling tower, air handler	\$1,120,000	02/12/19	10/02/20					OPERATIONAL 01/2021							06/14/19	\$120,000	\$120,000	04/09/20	\$1,000,000	\$1,000,000	
Fallstaff ES #241	Boiler replacement	\$100,000	02/12/19	08/31/20					OPERATIONAL 09/2020							-	-	-	03/12/20	\$100,000	\$100,000	
Frederick Douglass HS #450	Water heater installation	\$43,520	12/13/18	06/01/19					OPERATIONAL 04/2019							-	-	-	12/13/19	\$43,520	\$43,520	
Frederick Douglass HS #450	Boiler replacement	\$1,072,451	02/12/19	06/28/21					OPERATIONAL 01/2021							06/14/19	\$72,451	\$72,451	04/09/20	\$1,000,000	\$1,000,000	
Gwynns Falls ES #060	Boiler section replacement	\$67,711	02/12/19	04/06/19					OPERATIONAL 04/2019							-	-	-	12/13/19	\$67,711	\$67,711	
Harlem Park BLDG #078	Boiler section replacement	\$19,630	02/23/19	03/05/19					OPERATIONAL 03/2019							-	-	-	12/13/19	\$19,630	\$19,630	
Harlem Park BLDG #078	Boiler replacement	\$1,158,423	02/12/19	12/28/20					OPERATIONAL 08/2021							07/09/19	\$158,423	\$146,100	08/13/20	\$1,000,000	\$1,000,000	
Highlandtown EM #215	Condenser pipe replacement	\$127,000	02/12/19	04/22/19					OPERATIONAL 07/2019							-	-	-	12/13/19	\$127,000	\$127,000	
Highlandtown EM #215	Chiller replacement	\$829,600	02/12/19	12/28/20					OPERATIONAL 02/2021							07/09/19	\$79,600	\$68,210	04/09/20	\$750,000	\$750,000	
Leithwalk EM #245	BAS upgrade	\$46,000	02/12/19	06/01/19					OPERATIONAL 12/2019							-	-	-	10/15/20	\$46,000	\$46,000	
Liberty ES #064	Cooling tower, unit vent, controls	\$1,086,400	02/12/19	02/01/21					OPERATIONAL 04/2021							06/14/19	\$86,400	\$77,760	03/12/20	\$1,000,000	\$1,000,000	
Lockerman Bundy ES #261	Water heater installation	\$46,500	02/12/19	05/15/19					OPERATIONAL 05/2019							-	-	-	12/13/19	\$46,500	\$40,277	
Margaret Brent PK-8 #053	Cooling tower, pipe replacement	\$1,066,800	12/13/18	06/02/21					OPERATIONAL 11/2020							06/14/19	\$66,800	\$0	12/13/19	\$1,000,000	\$1,000,000	
Tench Tilghman PK-8 #013	Chiller, air handler replacement	\$1,854,000	12/13/18	08/29/21					OPERATIONAL 03/2021							06/14/19	\$153,498	\$153,162	03/12/20	\$1,700,502	\$1,700,502	
Thomas Johnson EM #084	Air handler replacement	\$714,392	02/12/19	08/01/22					CONSTRUCTION							03/12/20	\$35,000	\$35,000	02/11/21	\$679,392	\$476,551	
Westport PK-8 #225	Boiler, air handler replacement	\$1,337,721	02/12/19	05/18/21					OPERATIONAL 08/2021							06/14/19	\$137,721	\$110,177	06/25/20	\$1,200,000	\$1,200,000	
Windsor Hills EM #087	Chiller replacement	\$2,630,000	02/12/19	08/01/22					CONSTRUCTION							08/28/19	\$180,000	\$144,000	02/11/21	\$2,450,000	\$1,866,440	
Source: Baltimore City Public Schools, 2022-05-03		\$15,000,000			0	1	0	2		3	0	0	0	0	16		\$1,269,745	\$1,026,241		\$12,230,255	\$11,437,631	
					Project Phase				Project Status						Contract Status							
					<div></div>				<div></div>													
															Allocations		\$15,000,000					
Contracts		\$13,500,000																				
Expenditures		\$12,463,872																				

**Item 7. Baltimore City Revised Enhanced Approval Package – #27 Commodore John Rodgers Elementary/ Middle School**

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**Motion:**

To approve the revisions made to the Enhanced Approval Package (EAP) for #27 Commodore John Rodgers Elementary/ Middle School dated November 2021.

**Background Information:**

The Enhanced Approval Package (EAP) for #27 Commodore John Rodgers Elementary/ Middle School was originally approved during the 10-year plan process approvals by the members of IAC Commission Board on November 15<sup>th</sup>, 2018, in accordance with the Memorandum of Understanding (MOU) for 21<sup>st</sup> Century Buildings Program.

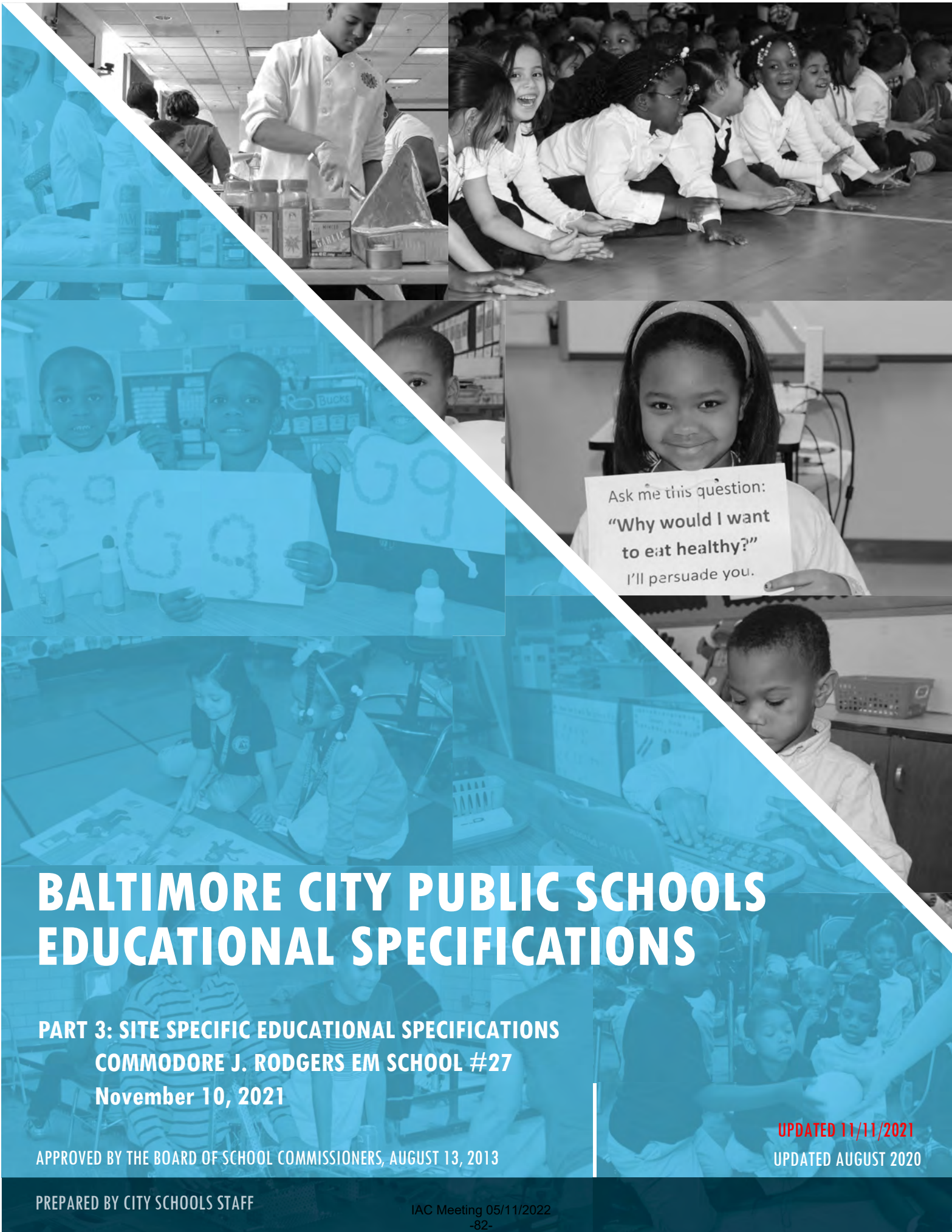
In November 2021, the EAP was revised changing the project type from an addition/renovation to a full replacement project. Final approval of the revised EAP from Baltimore City School Board was received on May 10, 2022.

**Information to note:**

- Reduces TCO significantly, by the demolition of existing buildings A & B with systemics reaching the end of their RUL.
- The new replacement building's footprint is 117,145 GSF, which reduces the state average of 155 GSF/ student to 114 GSF/ student.
- Meets all Ed Specifications, enrollment capacities, and effectiveness of programs.
- Total cost estimated to be around \$52 million (expected to be in the high 50 million range due to inflation and economic supply chain.)

In addition, other mutual changes have been made between BCPSS and 21<sup>st</sup> Century Buildings Program/ MSA, updates are listed below for information only and do not require commission approval per the MOU.

- Project delivery date changed from December 2024 to August 2025.  
*To reduce swing interruptions during the school year, the planned swing date was revised to June 2023. This will push the project construction to be completed by August 2025 and also allows for design and construction schedules to be met based on the revised EAP.*
- Project delivery method changed from Design/Build to CMaR Design/Bid/Build.  
*This will allow scope to be finalized appropriately between MSA and the design team, and input for various value engineering efforts.*



# BALTIMORE CITY PUBLIC SCHOOLS EDUCATIONAL SPECIFICATIONS

**PART 3: SITE SPECIFIC EDUCATIONAL SPECIFICATIONS  
COMMODORE J. RODGERS EM SCHOOL #27  
November 10, 2021**

APPROVED BY THE BOARD OF SCHOOL COMMISSIONERS, AUGUST 13, 2013

PREPARED BY CITY SCHOOLS STAFF

IAC Meeting 05/11/2022  
-82-

UPDATED 11/11/2021  
UPDATED AUGUST 2020

# BALTIMORE CITY BOARD OF SCHOOL COMMISSIONERS

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# BALTIMORE CITY PUBLIC SCHOOLS DISTRICT OFFICE

Office of Engagement

Office of Networks

Chief Academic Office

Chief Operations Office

Office of New Initiatives

21st Century School Buildings

## BALTIMORE CITY SCHOOL COMMUNITY

- *Principal and Staff of Commodore John Rodgers EM*
- *Community and Partners of Commodore John Rodgers EM*
- *Parents and Students of Commodore John Rodgers EM*

## BALTIMORE CITY ACKNOWLEDGEMENTS

*Dr. Sonja Brookins Santelises*

*Chief Executive Officer*

*Dr. Joan Dabrowski*

*Chief Academic Officer*

*Alison Perkins-Cohen*

*Chief of Staff*

*Dr. Lynette Washington*

*Chief Operations Officer*

*Christopher Doherty*

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*Jeremy Grant-Skinner*

*Chief Human Capital Officer*

*John L. Davis, Jr.*

*Chief of Schools*

# PART 3

## SITE-SPECIFIC EDUCATIONAL SPECIFICATIONS SECTIONS

### Part 1: General Requirements (under separate cover)

- A. Executive Summary
- B. City Schools' Mission
- C. City Schools' Portfolio
- D. School Safety and Security
- E. Community Use Guidelines
- F. Sustainability
- G. Instructional Technology
- H. General Design Criteria
- I. Building Design Criteria
- J. Site Design Criteria
- K. Project Specific Educational Specifications
- L. Additional Educational Specification Content

### Part 2: Prototype Specific Requirements (under separate cover)

Volume I PK to 5 Prototype

Volume II PK to 8 Prototype

Volume III 6 to 12 Prototype

Volume IV 9 to 12 Prototype

### Part 3: Site Specific Educational Specifications (General Requirements)

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D.	General Project Design Criteria (Optional)	-
E.	Existing Site Conditions (Optional)	-
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G.	Existing Building Systems Conditions (Optional)	-
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\*Sections not included are provided in the school specific feasibility study.

# **A. PROJECT SUMMARY**

---

### A.1 Project Justification:

Commodore John Rodgers (CJR) has a Facility Conditions Index (FCI) of 35.7% and Educational Adequacy Score (EAS) of 54.6 based on the previously completed 2010 Jacobs building assessment report. As a rule of thumb an FCI below 10% is considered good. An FCI above 75% would suggest that the building is a candidate for replacement. The highest possible EAS is 100, meaning the school meets or exceeds every standard within each category.

The CJR population has steadily increased in the past; over the last several years the enrollment is tapering off. Projections show a slight increase in the out years. In SY 2021-22, the state rated capacity of the building is 678, and utilization rate is approximately 128%. The anticipated capacity in SY 2025-26, is 1,029, per the educational specification, with projected enrollment of 875, as approved by the state. The utilization rate is approximately 85%.

### A.2 Project Description:

The current Commodore J. Rodgers was originally built in 1971 at 110,776 sf. Renovations were complete to various parts of the building in 2001, 2012, and 2016. The project is to include a replacement.

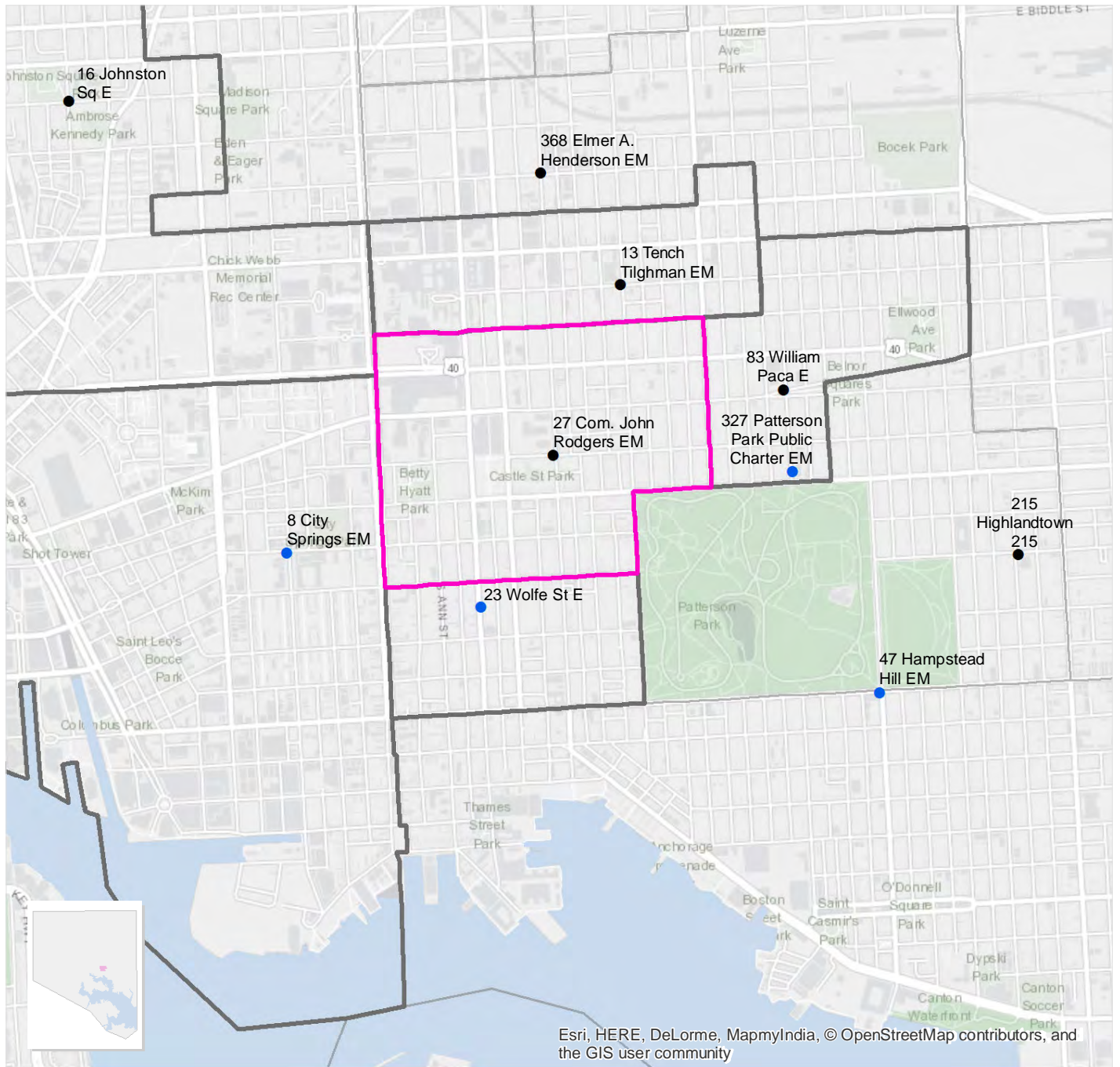
### A.3 Proposed Schedule

Schedule		
Task	Start	Complete
Procure A/E Design	December 2021	February 2022
Notice to Proceed	February 2022	
Concept Design	February 2022	April 2022
Schematic Design	April 2022	June 2022
Design Development	June 2022	September 2022
Construction Documents	September 2022	January 2023
Construction	January 2023	August 2024
Occupancy	August 2024	September 2024

### A.4 Facility Summary

Facility Summary		
	Current	2025-26 Projected
State Rated Capacity	678	1,029
Full Time Enrollment	871	875
Relocatables	none	none
Gross Square Footage	110,776	115,234

# #27 Commodore John Rodgers EM



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## **B. PROJECT BACKGROUND**

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# B. PROJECT BACKGROUND

## B.1 Community Description and History:

The CJR EM School building is located in the Butcher's Hill Community, which is in the Southeast geographic area of Baltimore City. It is located in Community Statistical Group Area (CSA) #9: Oldtown/Middle East. This CSA Group is a mix of residential, institutional, and commercial. Approximately 58% of the population is African-American and 35% is Hispanic. The housing market conditions in the CSA group range from Middle Market Stressed to Stressed.

Current plans for this area include:

- Johnston Plan Vision Plan 2020 for revitalizing and redevelopment in the community.
- The Perkins Sommerset Oldtown Transformation Plan focuses on the redevelopment of Perkins Homes, a 629 unit public housing development.
- Re-Build Metro works in partnership with the Johnston Square community to develop a housing plan that includes 25 renovated town homes.
- Henson Ridge plan includes the rehabilitation of 45 historic row homes and the construction of 5 new row homes.

## B.2 School Description and History:

Total 110,776 sf

1971 (Orig) - 110,776 sf

2001 - Renovation 4,520 sf

2012 - Renovation 4,717 sf

2016 - Renovation 4,250 sf

### 27 Commodore J. Rodgers Demographics

Hispanic: 35%

Non-Hispanic African American: 58%

Non-Hispanic American Indian: 0%

Non-Hispanic Asian: 1%

Non-Hispanic Native Hawaiian/

Pacific Islander: 0%

Non-Hispanic White: 6%



## B.3 Existing Site Plans, Floor Plans, and Photographs:

Existing Site and Floor Plans are located in the Appendix.





Back hallway/storage



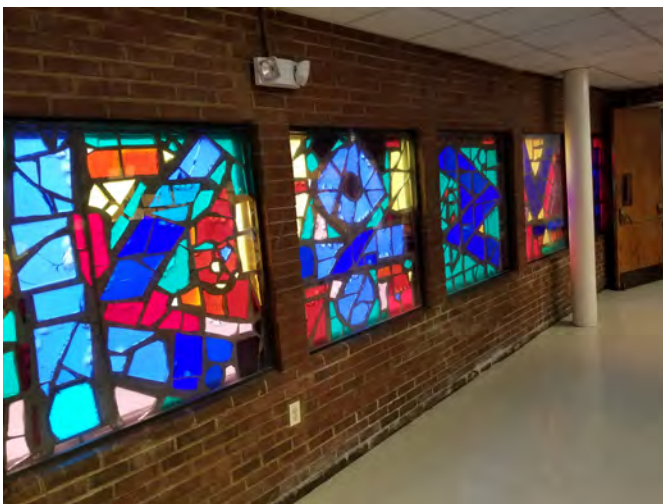
Auditorium



Cafeteria



Gym



Stained Glass Breezeway

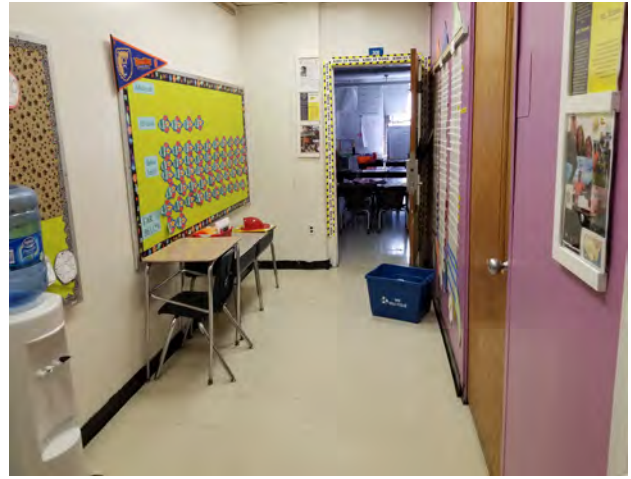


Typical Classroom





Typical Classroom



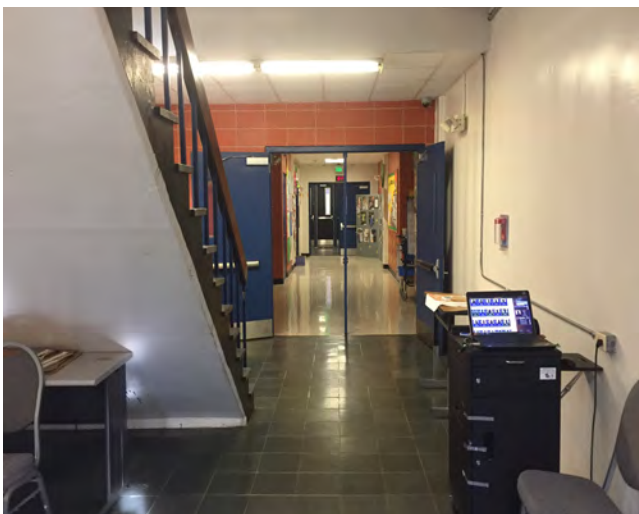
Hallway/pullout area



Main Entry



Courtyard/Play yard



Main Hallway/Circulation



Typical Classroom

#### **B.4 Summary of Recent Feasibility Studies or Assessments:**

The 10-Year Plan's recommendation, based on the Jacob's building assessment report (2011), for Commodore John Rodgers EM School #27 is that it is more cost effective to renovate this building than to replace it. The rationale behind this recommendation is as follows:

- The FCI suggests that renovation should be considered, however due to the special circumstances of the project (addition-only) the only renovation that will occur will be to tie the addition into the existing building.
- Commodore John Rodgers far exceeds the acceptable level of utilization with an SY2122 utilization rate of 128% (enrollment is 871 and SRC is 678).
- Capital investment has been made in this building to replace the roof, the boiler, and the chiller.

The feasibility study indicates that at this time replacement of the building costs approximately the same as a renovation/addition of the building, so a replacement option has now been reviewed and approved in lieu of the renovation/addition.

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## **C. PROPOSED EDUCATIONAL PROGRAMS AND SERVICES**

## C. PROPOSED EDUCATIONAL PROGRAMS AND SERVICES

### C.1 School Grade Organization:

Commodore John Rodgers EM School #27 is an elementary/middle school with grades PK-8.

In general, the proposed replacement will maintain a separation between the elementary and middle grade students. Grades 6, 7, and 8 will be grouped together.

### C.2 Proposed Curriculum:

The Commodore John Rodgers Elementary/Middle School #27 does not contain any specialized programs that would necessitate additional specifications beyond the Part II prototypes.

### C.3 Proposed Staff:

Proposed Staff	
Position	Quantity
Principal	1
Assistant Principal	3
Teacher - General Educators	40
Teacher - Special Education	4
Teacher - Physical Education	2
Teacher - Sciences	4
Teacher - Art	2
Teacher - Music	2
Teacher - Technology	1
Teacher - Foreign Language	1
Paraeducator	6
Paraeducator - Special Education	3
Assistant - Non-Instructional/10 mth	3
Staff Associate/10 mth	2
Educational Associate	2
Librarian	1
Secretary I - School	1
Speech Pathologist	1
Guidance Counselor	3
Psychologist	2
Social Worker	2
Nurse	1
Occupational Therapist	1
Manager I - Cafeteria	1
Food Services Worker I/3.5 hrs	3
Food Services Worker 1/6 hrs	2
Custodial Worker I /12 months	3

See section F for parking requirements.

#### C.4 Enrollment Projections - Commodore John Rodgers EM 27:

No.	Year	PK	K	1	2	3	4	5	6	7	8	9	10	11	12	Prog.	Facility	SRC	Util.
John Commodore Rodgers EM #27	2020-21	35	75	89	87	92	91	86	107	109	100	0	0	0	0	871	871	678	128%
	2021-22	52	83	81	86	89	93	92	97	107	106	0	0	0	0	886	886	678	131%
	2022-23	49	83	90	77	89	92	97	104	100	109	0	0	0	0	890	890	678	131%
	2023-24	45	80	86	83	76	88	91	105	103	96	0	0	0	0	853	853	678	126%
	2024-25	49	82	85	81	85	77	90	101	107	102	0	0	0	0	859	859	1,044	82%
	2025-26	48	84	90	83	86	89	81	103	105	106	0	0	0	0	875	875	1,044	84%
	2026-27	47	82	88	83	83	85	88	88	101	102	0	0	0	0	847	847	1,044	81%
	2027-28	48	85	90	85	87	86	88	100	91	102	0	0	0	0	862	862	1,044	83%
	2028-29	47	86	92	86	88	89	89	99	103	91	0	0	0	0	870	870	1,044	83%
	2029-30	47	85	90	85	86	87	89	97	99	100	0	0	0	0	865	865	1,044	83%
	2030-31	48	85	90	85	86	87	88	98	97	98	0	0	0	0	862	862	1,044	83%

#### C.5 Future Programs and Services:

##### Community Partner

The Family Resource Suite, the Out of School Time Support, The Judy Center and the Early Childhood Development Center are all components of the Community Space. The Community Services Suite also includes a pantry, personal care space with a shower, and laundry space.

Baltimore City Schools General Education Specification calls for 21st Century School Buildings to become hubs of the community. Creating schools as hubs includes incorporating programs and services for students, parents, and community members within the school building. It also includes providing an opportunity for them to determine which programs and services should be included in the 3000 square feet of community space.

The planning process includes the identification of a community base organization to work with each school to form a school base core team to complete a community needs assessment, gap analysis, survey stakeholders, host community forums and use available data to determine program and service needs to be included in the community space.

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## **D. GENERAL PROJECT DESIGN CRITERIA**



#### D.8. Phasing requirements

The Commodore John Rodgers EM school site includes the first building, located on the north side of the site and is “L” shaped (building B) and the second, rectangular shaped building, currently used as classrooms, located on the southeast corner of the site is (building A). The project, will involve one of the following four (4) design options:

- Strategic Renovation and Addition: the limited renovation addresses systemics and finishes upgrades. The interior demolition/construction is limited to work required for systemic upgrades and code deficiencies. The building addition would be constructed to meet the remaining ed spec requirements and would be located adjacent to the existing building;
- Major Renovation and Addition: this option addresses the upgrades in the first option (Strategic Renovation and Addition) as well as reconfigures the interior spaces in the building to work towards addressing the ed spec requirements. This option is a more extensive renovation scope. A four story addition would be connected to both buildings;
- Major Renovation and Partial Replacement: This option includes an extensive renovation of building A and addresses the upgrades and major renovation in option 2. This includes demolishing building B and constructing a four-story addition in its place that will be connected to the building;
- Replacement: This option includes demolishing both existing buildings (A & B) and constructing a replacement building.

City Schools is still working with the MSA to determine if the school students will be relocated (swing) to an alternate location or if the construction will occur as phased occupied. If it is phased occupied, the existing school program will remain in operation on site during construction. This will require careful planning and sequencing of construction operations to ensure that delivery of the educational program is not negatively impacted and that students, faculty and administrators are safe.

The construction phasing and/or swing plan is still being developed.

## **F. PROPOSED SITE REQUIREMENTS**

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# F. PROPOSED SITE REQUIREMENTS

## F. Proposed Site Requirements:

### F.1 Parking - bus, car, delivery, staff, visitor:

Commodore John Rodgers #27 (CJR) has 1 off-street parking lot, but also relies heavily on street parking. While parking should be considered, it should not be a major driver in design. The parking lots do not have sufficient markings. There is on-street parking on the streets surrounding the school. Currently most students (approximately 85%) who attend CJR walk or are driven from surrounding neighborhoods

### F.2 Service access:

Service access is currently provided by a service drive on the north side of the building with a loading and dumpster area. These are already adequately separated from pedestrian circulation.

### F.3 Vehicle and pedestrian access:

CJR is bounded by 3 streets on the East, South and West: North Chester, East Fairmount, and North Washington. The North side is a senior housing apartment building which was the original Commodore John Rodgers Elementary Building. Students live primarily southwest and northeast of the site due to barriers (Patterson Park and Hopkins Hospital Complex).

### F.4 Playing fields/courts/yards:

There are currently 2 amphitheaters; the large one to the west is unused and should be considered potential area for development. For the one on the south side of the site, there is also hard surface play area, along with a training circuit area. A new playground is situated within the courtyard between the two buildings. Basketball courts are located on the west side and can be considered for development if necessary.

### F.5 Natural environmental areas:

The building occupies a large city block with minimal natural areas. Due to restricted space on the site, opportunities should be considered for providing outdoor learning and/or recreation.

### F.6 Utilities:

The feasibility study should be used to establish existing and proposed utilities. Any water mains and associated easements should be respected/addressed.

### F.7 Other:

Storm water management requirements will need to be addressed for all new construction. The storm water management design techniques could be incorporated as an environmental literacy learning tool for the school. One option would include harvesting the rainwater from the impervious surfaces in above ground tanks or in an underground cistern, and the harvested rain water could then be used to irrigate the school garden, landscaping, and grass fields, or could also be used in a gray water system for toilet water in the school. Other options include installing bio retention facilities or rain garden facilities around the site to capture and treat runoff from impervious surface. This facility could be landscaped and could also serve as an environmental literacy learning tool. Permeable pavement material for the auxiliary parking lot could also be explored as a stormwater management technique if the existing soils showed to have adequate infiltration capabilities.

Another consideration is the Early Learning Center located in what was previously the Recreation Center. This is operated by a number of partners and is not part of the area that will be touched; neither will their play area.

# **I. GENERAL SCHOOL DESIGN CRITERIA**

---

# I. GENERAL SCHOOL DESIGN CRITERIA

## I. General School Design Criteria

Every school is unique. All of the subsections in this chapter are included in order to briefly highlight the ways in which this project, and specifically this existing building, allows for variations from the prototypical specifications.

### I.1 Overall Building Organization:

The existing Commodore John Rodgers buildings are organized in a way which separates the administrative functions from the academic functions.

### I.2 Functional Relationships:

The adjacencies of various functions must be considered for either a renovation or a new construction project. There are a few specifics to consider; see below:

- Easy access to the Media Center, gymnasium, and community spaces shall be a priority.

### I.3 Administrative Areas:

In addition to the general requirements outlined in the prototypical specifications:

- At the main entrance, create a space which is welcoming to guests and includes space for security personnel.

### I.4 Instructional Areas:

The following programmatic adjustments have been incorporated into the site specific education specifications:

- All academic clusters shall be grouped by grade. The elementary and secondary/middle school students shall be separated to the extent possible;

### I.5 Support Areas:

Student Services:

- The ed specs were updated to reflect that in a replacement building the auditorium is not included.
- In the replacement option, the Weinberg Media Center must be replicated in the new building.

Athletics:

- The renovation/addition or replacement project should provide access to exterior play areas from the gym.

### I.6 Community Use Areas:

The community should have the ability to reserve the use of the gymnasium, auditorium, and other community spaces.

### I.7 Special or Unique Program Requirements:

There are no special or unique programs associated with this project, and therefore section J is not required for Part III.



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# J. INDIVIDUAL SPACE DESCRIPTIONS





# L. SUMMARY OF SPATIAL REQUIREMENTS

REVISED 11.11.2021

27 Commodore John Rodgers EM

			11.09.21 Revised Ed Spec					
ROOM/SPACE			TEACHING STATIONS	NUMBER EACH	SF EACH	TOTAL	SF TALLY	SP ED FTE
							ES FTE	MS FTE
<b>01 ADMINISTRATION</b>								
<b>01.01 Main Office</b>			1,845					
01	01.01	GENERAL-RECEPTION		1	500	500		
01	01.02	CONFERENCE		1	250	250		
01	01.03	WORKROOM		1	200	200		
01	01.04	STORAGE		1	150	150		
01	01.05	SECURE STORAGE		1	75	75		
01	01.06	PRINCIPAL		1	250	250		
01	01.07	ASSISTANT PRINCIPAL		2	100	200		
01	01.08	FLEX OFFICE		2	100	200		
01	01.09	COAT CLOSET		1	20	20		
<b>01.02 Faculty Support</b>			0					
01	02.01	FACULTY LOUNGE		0	350	0		
<b>02 STUDENT SERVICES</b>								
<b>02.01 Guidance</b>			600					
02	01.01	OFFICE		2	100	200		
02	01.02	WAITING/RECEPTION		1	150	150		
02	01.03	CONFERENCE		1	250	250		
<b>02.02 Health Suite</b>			890					
02	02.01	WAITING AREA		1	100	100		
02	02.02	EXAM ROOM/TREATMENT		2	100	200		
02	02.03	STUDENT REST AREAS		2	150	300		
02	02.04	OFFICE		1	150	150		
02	02.05	STORAGE		1	40	40		
02	02.06	STUDENT TOILET		1	100	100		
<b>02.03 Support Services</b>			300					
02	03.01	PSYCHOLOGIST + SOCIAL WORKER OFF		1	150	150		
02	03.02	SOCIAL WORKER		0	100	0		
02	03.03	FLEX OFFICE		0	100	0		
02	03.04	RECORDS STORAGE		0	75	0		
02	03.05	SPEECH		1	150	150		
<b>03 TEACHING AND LEARNING</b>								
<b>03.01 Classrooms</b>			35,200					
03	01.01	PRE-KINDERGARTEN	4	4	950	3800		80
03	01.02	KINDERGARTEN	4	4	950	3800		88
03	01.03	GRADES 1-2	8	8	850	6800		184
03	01.04	PK-K TOILET		8	50	400		
03	01.05	GRADES 3-4-5	12	12	850	10200		276
03	01.06	FLEX CLASSROOM	0	0	820	0		0
03	01.07	CO-TEACHING CLASSROOM	0	0	1100	0		0
03	01.08	GRADES 6-7-8	12	12	850	10200		300
<b>03.02 Shared Spaces</b>			4,300					
03	02.01	COLLABORATIVE LEARNING AREA		0	1300	0		
03	02.02	RESOURCE - 2 <i>wholeness</i>		6	250	1500		
03	02.03	TEACHER PLANNING - <i>moveable wall btw</i>		2	800	1600		
03	02.04	STORAGE		6	200	1200		
<b>04 SPECIAL EDUCATION</b>								
<b>04.01 General</b>			3,600					
04	01.01	CLASSROOM - <i>K+1; 2+3; 4+5; 6+7+8</i>	4	4	850	3400		40
04	01.03	OFFICE		1	100	100		
04	01.04	RECORDS STORAGE		1	100	100		
<b>04.02 Resource</b>			150					
04	02.01	OT/PT (this will likely be flex w 2 desks)		1	150	150		
04	02.02	OT/PT STORAGE		0	80	0		
04	02.03	STUDENT TOILET		0	50	0		

27 Commodore John Rodgers EM			11.09.21 Revised Ed Spec							
ROOM/SPACE			TEACHING STATIONS	NUMBER EACH	SF EACH	TOTAL	SF TALLY	SP ED FTE	ES FTE	MS FTE
05 SCIENCES										
05.01 Elementary Science			0							
05 01.01	LAB			0	900	0				
05 01.02	STORAGE			0	100	0				
05.02 Middle Science			4,600							
05 02.01	LAB		4	4	1000	4000				100
05 02.02	PREP/STORAGE			4	150	600				
06 FINE ARTS										
06.01 Visual Art			2,400							
06 01.01	STUDIO			2	1000	2000				
06 01.02	STORAGE			2	150	300				
06 01.03	KILN			1	100	100				
06.02 Music			2,350							
06 02.01	LARGE REHERSAL			1	1200	1200				
06 02.02	SMALL REHEARSAL			1	850	850				
06 02.03	STORAGE			2	150	300				
07 SPECIALS										
7.01 Foreign Language			0							
07 01.01	CLASSROOM			0	850	0				0
08 TECHNOLOGY EDUCATION										
08.01 Technology Education			1,000							
08 01.01	LAB			1	900	900				25
08 01.02	SUPPLY STORAGE			1	100	100				
09 PHYSICAL EDUCATION										
09.01 Physical Education			8,650							
09 01.01	GYMNASIUM			1	6500	6500				
09 01.02	OFFICE			1	150	150				
09 01.03	GYM STORAGE			1	400	400				
09 01.04	LOCKERS/CHANGING ROOMS			2	200	400				
09 01.05	STUDENT SHOWERS/TOILET			4	100	400				
09 01.06	FITNESS ROOM			1	800	800				
10 MEDIA										
10.01 Media Center			3,100							
10 01.01	MEDIA ROOM			1	2400	2400				
10 01.02	WORKROOM			1	250	250				
10 01.03	STORAGE			1	300	300				
10 01.04	HEAD END ROOM			1	150	150				
10.02 Communications/TV			700							
10 02.01	VIDEO STUDIO			1	700	700				
10 02.02	CONTROL ROOM			0	150	0				
11 FOOD SERVICES										
11.01 Dining			4,800							
11 01.01	DINING			1	3500	3500				
11 01.02	FURNITURE STORAGE			1	250	250				
11 01.03	STAGE			1	900	900				
11 01.04	STAGE STORAGE			1	150	150				
11 01.05	AUDITORIUM			0	3500	0				
11.02 Food Service			2,360							
11 02.01	KITCHEN			1	900	900				
11 02.02	SERVING			2	225	450				
11 02.03	OFFICE			1	80	80				
11 02.04	WALK-IN FREEZER			1	175	175				
11 02.05	WALK-IN CHILLER			1	175	175				
11 02.06	DRY STORAGE			1	200	200				
11 02.07	DISH ROOM / TRAY RETURN			1	200	200				
11 02.08	SOAP STORAGE			1	30	30				
11 02.09	CAN WASH			1	50	50				
11 02.09	LOCKER / TOILET			1	100	100				

			11.09.21 Revised Ed Spec					
ROOM/SPACE			TEACHING STATIONS	NUMBER EACH	SF EACH	TOTAL	SF TALLY	SP ED FTE
							ES FTE	MS FTE
<b>12 BUILDING SERVICES</b>								
<b>12.01 Maintenance/Operations</b>			1,490					
12 01.01	RECEIVING		1	250	250			
12 01.02	CENTRAL STORAGE		1	250	250			
12 01.03	OPERATIONS OFFICE		1	100	100			
12 01.04	LOCKERS/SHOWERS/TOILETS		1	120	120			
12 01.05	SECURITY OFFICE		1	120	120			
12 01.06	CUSTODIAL CLOSETS		5	60	300			
12 01.07	RECYCLING		1	250	250			
12 01.08	OUTDOOR STORAGE		1	100	100			
<b>12.02 Toilet</b>			400					
12 02.01	STAFF TOILET		8	50	400			
<b>13 COMMUNITY SPACE</b>								
<b>13.01 Family Resource Suite</b>			200					
13 01.01	COMMUNITY SCHOOLS COORDINATOR		1	150	150			
13 01.02	OFFICE		0	80	0			
13 01.03	TOILET		1	50	50			
<b>13.02 Out of School Time Support</b>			0					
13 02.01	STORAGE		0	100	0			
13 02.02	PANTRY		0	50	0			
13 02.03	OFFICE		0	80	0			
<b>13.03 Service</b>			350					
13 03.01	PANTRY		1	150	150			
13 03.02	PERSONAL CARE		1	100	100			
13 03.03	LAUNDRY		1	100	100			
<b>13.04 Judy Center</b>			925					
13 04.01	JUDY CENTER COORDINATOR OFFICE		1	100	100			
13 04.02	JUDY CENTER FAMILY SERVICES OFFICE		1	100	100			
13 04.03	JUDY CENTER ADMINISTRATIVE ASSISTANT + RECEPT.		1	250	250			
13 04.04	JUDY CENTER MENTAL HEALTH CONSULTANT OFFICE		1	100	100			
13 04.05	JUDY CENTER MULTIPURPOSE ROOM		1	375	375			
13 04.06	JUDY CENTER OFFICE [WIC]		0	100	0			
13 04.07	JUDY CENTER SECURE RECORDS STORAGE		0	75	0			
<b>13.05 ECDC</b>			2,100					
13 05.01	EARLY LEARNING HEADSTART CR - <i>SF inclues crib rm</i>		0	1000	0			
13 05.02	HEADSTART CR - <i>SF includes bathrooms</i>		2	1000	2000			
13 05.03	OFFICE		1	100	100			
13 05.04	PREP AREA		0	100	0			
<b>13.06 UNDESIGNATED SPACE</b>			-					
<b>Total Capacity</b>								1,029
<b>Total Teaching Stations</b>			48					
<b>Total Net Square Footage</b>			82,310					
<b>TOTAL GROSS AREA</b>			115,234					

Middle School Capacity	361
85% (per State Requirements)	
Elementary School Capacity	628
Special Education	40
<b>TOTAL SCHOOL CAPACITY</b>	<b>1,029</b>

State GAB for 1,029 students

137,248 sf

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# M. APPENDIX

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CAD Conversion for Schematic Reference Only - Not for Construction

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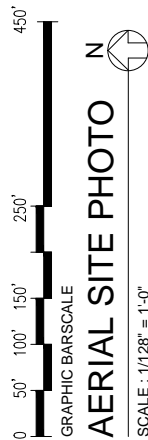
Commodore John Rogers School  
100 North Chester Street  
Baltimore, Maryland 21231

BCPS No. 027  
SHEET No. 1 of 6

Baltimore City Public Schools  
200 E. North Ave.  
Baltimore, MD 21202

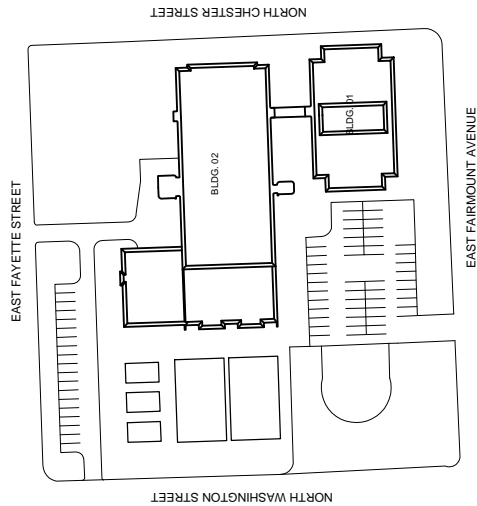
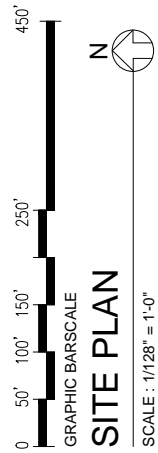
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UPDATES



BCPS Facility Condition Assessment - 2011

CAD Conversion for Schematic Reference Only - Not for Construction



BCPS Facility Condition Assessment - 201

Baltimore City Public Schools  
200 E. North Ave.  
Baltimore, MD 21202

Commodore John Rogers School  
100 North Chester Street  
Baltimore, Maryland 21231

BCPS No.  
027

SHEET No.  
2 of 6

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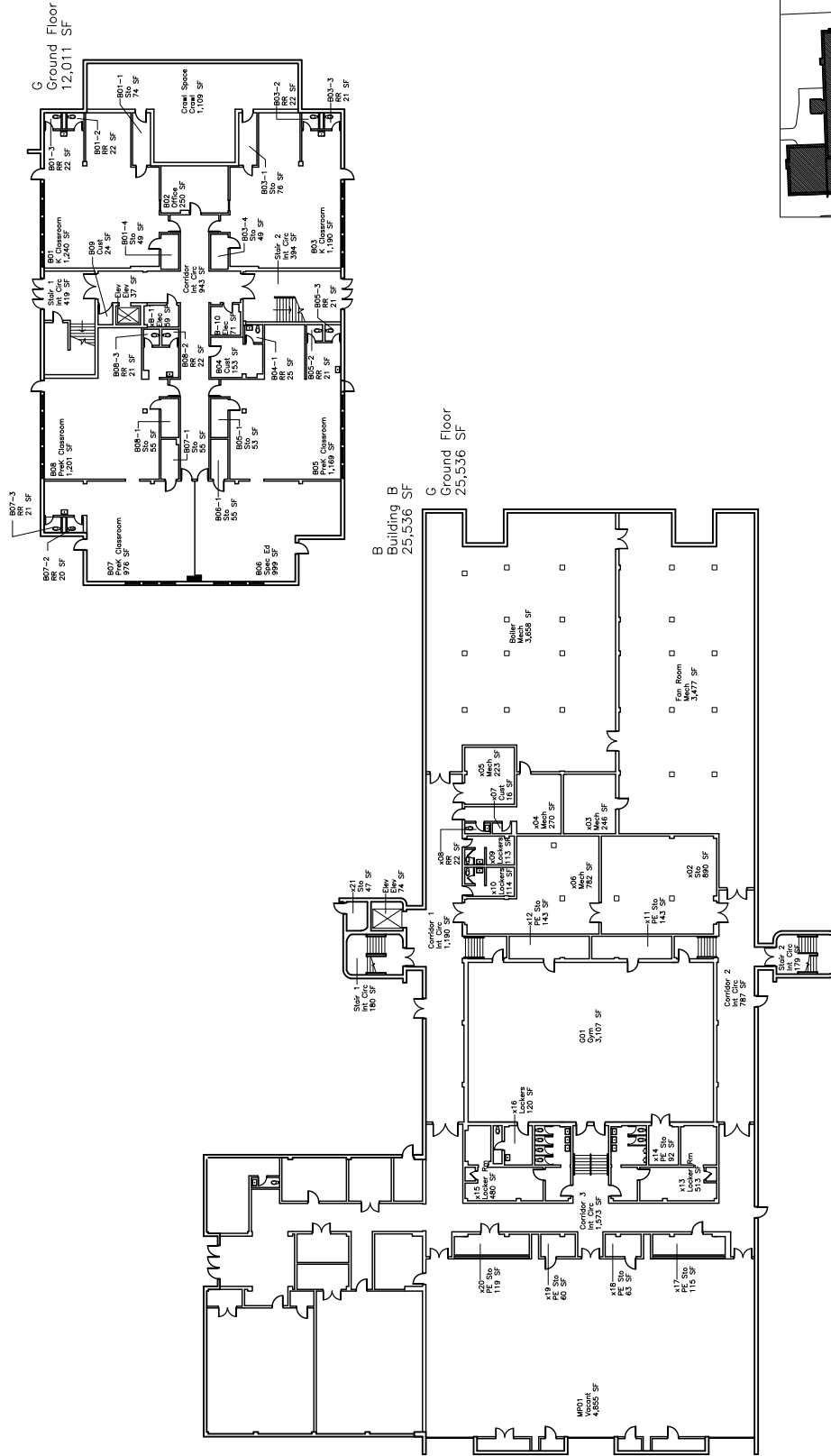
UPDATES

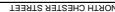
Commodore John Rogers School  
100 North Chester Street  
Baltimore, Maryland 21231

Baltimore City Public Schools  
200 E. North Ave.  
Baltimore, MD 21202

BCPS No. 027  
SHEET No. 3 of 6

UPDATES





NOT TO SCALE



BUILDINGS 01 &amp; 02 - FIRST FLOORS

SCALE: 1/32" = 1'-0"

BCPS Facility Condition Assessment - 2011

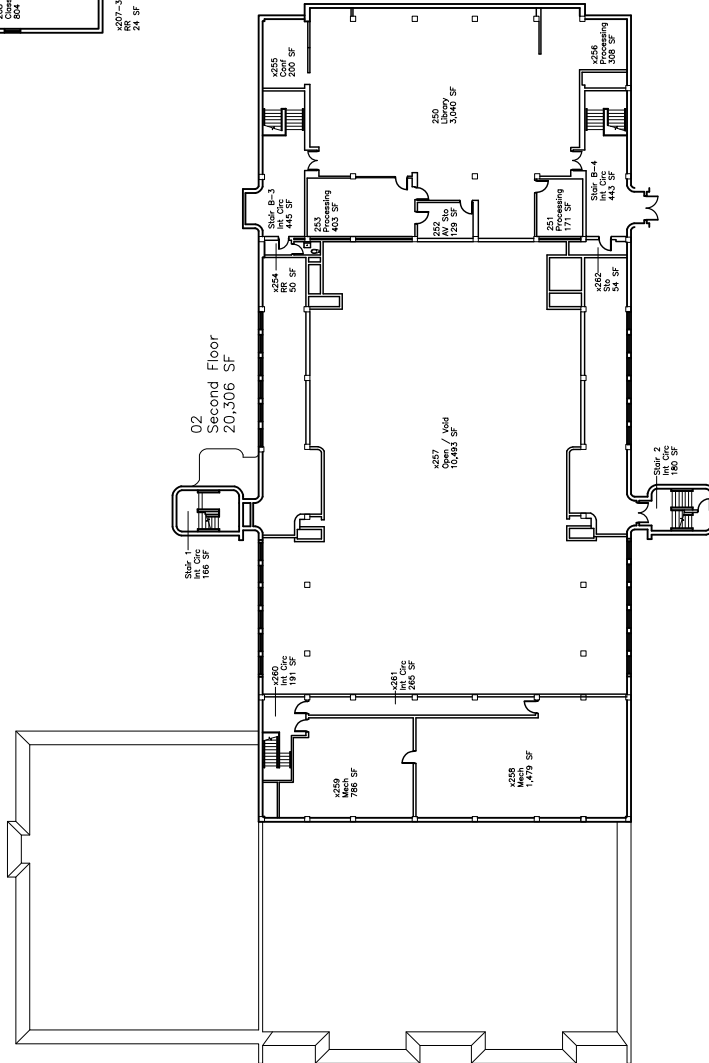


GRAPHIC BARSCALE

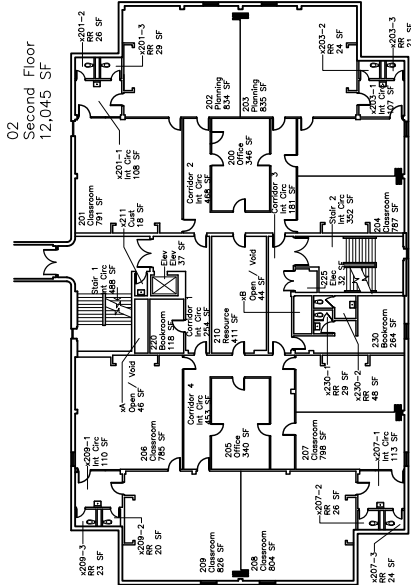
# BUILDINGS 01 & 02 - SECOND FLOORS

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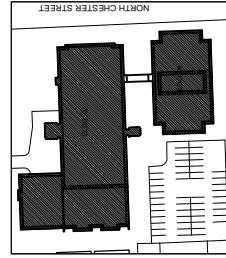
BCPS Facility Condition Assessment - 201



02  
Second Floor  
20,306 SF



02  
Second Floor  
12,045 SF



KEY PLAN  
NOT TO SCALE

Commodore John Rogers School  
100 North Chester Street  
Baltimore, Maryland 21231

BCPS No.

027

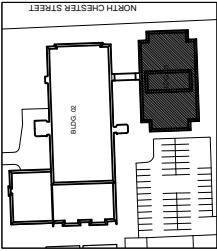
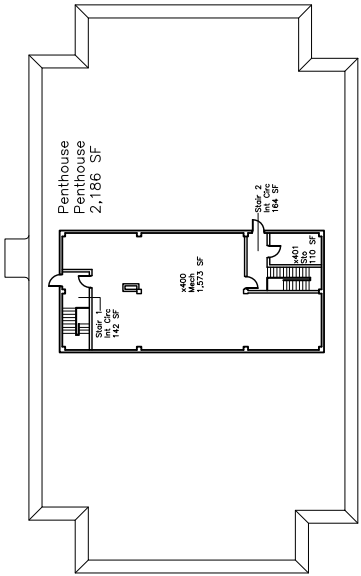
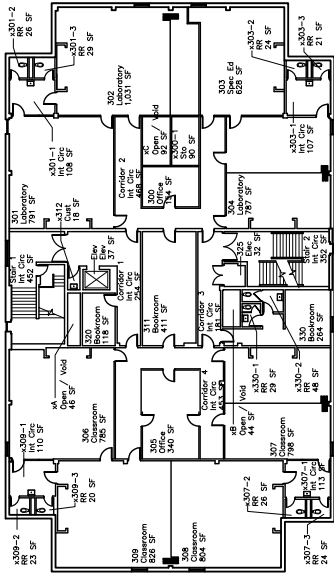
SHEET No.

5 of 6

Baltimore City Public Schools  
200 E. North Ave.  
Baltimore, MD 21202

CAD Conversion for Schematic Reference Only - Not for Construction

03  
Third Floor  
12,011 SF



KEY PLAN N  
NOT TO SCALE



GRAPHIC BARS SCALE

# BUILDINGS 01 - THIRD & PENTHOUSE FLOORS

SCALE : 1/32" = 1'-0"

Baltimore City Public Schools  
200 E. North Ave.  
Baltimore, MD 21202

Commodore John Rogers School  
100 North Chester Street  
Baltimore, Maryland 21231

BCPS No. 027  
SHEET No. 6 of 6



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# COMMODORE JOHN RODGERS ELEMENTARY MIDDLE SCHOOL FEASIBILITY STUDY

Baltimore City 21st Century Schools Building Program  
September 24, 2021



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## INTRODUCTION

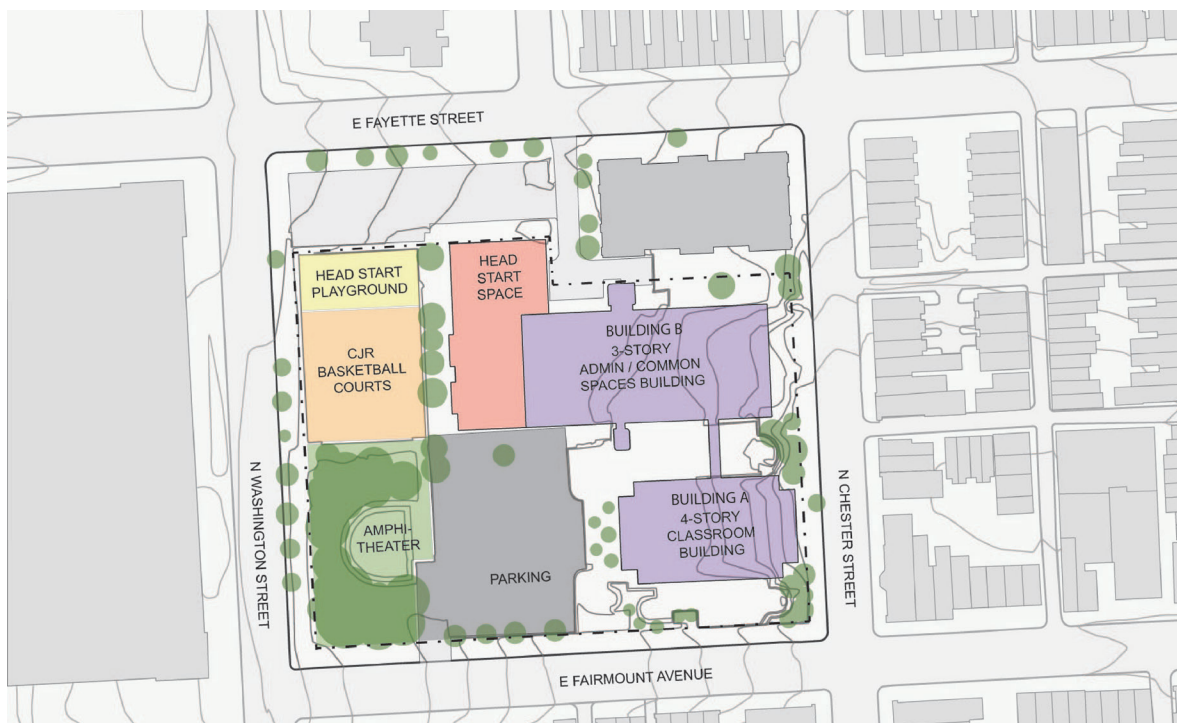
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Commodore John Rodgers Elementary-Middle School is located on a 3.05 acre site in the primarily residential neighborhood of Butchers Hill. It is situated northwest of Patterson Park and southeast of Johns Hopkins Hospital Campus. The west and south side of the site consist of a faculty parking lot, student/community basketball courts and a large unused amphitheater. There are many retaining walls throughout the site to accommodate the slope of the site. The original 1913 school building and associated parking lot occupy the northern side of the block, but are now privately owned.

The school, designed by Van Fossen Swab Architects in a modern 1960's style, was constructed in 1969. The school was constructed as two separate buildings connected by a two story bridge on the first and second floors. In 2012, a renovation to the cafeteria was completed and in 2015, a Weinberg renovation to the library/media center was completed. The west side of the main building was converted in 2014 into a Head Start/Early Childhood Center for the City of Baltimore.

The student population, as of December 2017, is 880 students. The functional capacity of the school according to the Jacobs 2012 study is 617 students. The "Facility Condition Index" or FCI, ranks the school as two separate buildings. Building A (4-story classroom building) was ranked in the 29.8 percentile. Building B (3-story admin/common space building) was ranked in the 28.7 percentile. Based on this index, buildings ranked below 10% are considered good, and buildings ranked above 75% are considered candidates for replacement. Currently, the overall physical condition of both buildings is fair to good, while the mechanical and plumbing systems throughout the building are in poor condition.

The feasibility study that follows considers options to relieve the overpopulation of the school, including both Renovation/Addition Options, as well as a Replacement Option. Systems in the existing building have been evaluated on a 15-year life cycle for replacement.



Existing Conditions Site Plan

**COMMODORE JOHN RODGERS**

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## EXECUTIVE SUMMARY

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### OVERVIEW OF EXISTING CONDITIONS

Commodore John Rodgers Elementary-Middle School was built in 1969 to replace an existing 1913 school building. It consists of two buildings connected by an elevated two-story bridge. Building A, on the south side of the site, houses classrooms. Building B, on the north side of the site, houses the administration, auditorium, cafeteria, media center and gymnasium, as well as the head start/early childhood center. The current enrollment, as of December 2017, is 880 students. This does not include the Head Start/Early Childhood Center, however this Study involves renovation/relocation of these spaces on the site.

The school sits on a 3.05 acre site. The main entrance is located on Chester Street in Butchers Hill. The site is primarily surrounded by residential development. The west and south side of the site consist of a faculty parking lot, student/community basketball courts and a large unused amphitheater. Because of the significant grade change on the site, there are many different levels in the buildings as well as throughout the site.

The 2012 Jacobs Study assigned an average Facility Condition Index (FCI), of 29.2% for Buildings A and B. Based on this study and the evaluation of the design team, the overall physical condition of the school is fair to good, with mostly minor deficiencies. The exception is the mechanical and plumbing systems, which have major deficiencies.

*A more detailed analysis of the existing conditions of the Commodore John Rodgers Elementary-Middle School is provided in the Existing Conditions section of this report.*

### FORMULATION OF PROGRAM

The program for the addition was determined by the Baltimore City Public Schools 21st Century Schools program using the Baltimore City Public Schools Educational Specification. The program net square footage is 80,740 NSF.

*A summary of the program for the Commodore John Rodgers Elementary-Middle School addition is provided in Appendix 1 of this report. Refer to Baltimore City Public Schools Educational Specifications (under separate cover) for a detailed description of program.*

### SUMMARY OF OPTIONS CONSIDERED

Option 01 - Strategic Renovation/Addition: This option includes a very limited renovation scope to address systemic and finish upgrades, relocation of program spaces within the current spaces. Interior demolition/construction is limited to work required for systemic upgrades and code deficiencies. A building addition would be constructed adjacent to the existing Building A to meet the remaining Ed Spec requirements for program spaces.

Option 02 - Major Renovation/Addition: This option includes a more extensive renovation scope, addressing the upgrades in Option 01 as well as reconfiguration of interior spaces in the existing building to work towards satisfying the Ed Spec requirements for program spaces. The new four-story addition would be located next (and connected) to Building A and be connected to both Buildings A (ground level) and B (all levels).

Option 03 - Major Renovation/Partial Replacement School: This option includes the extensive renovation scope for Building A, addressing the upgrades and the Major Renovation of Option 02. Building B would be demolished and a four-story addition would be constructed in its place and connected to Building A at all levels. The addition is similar to, but more extensive than, the addition in Option 02.

Option 04 - Replacement School: This option includes full demolition of both Buildings A and B and construction of a replacement building on the site.

All options will include redevelopment of the existing site.



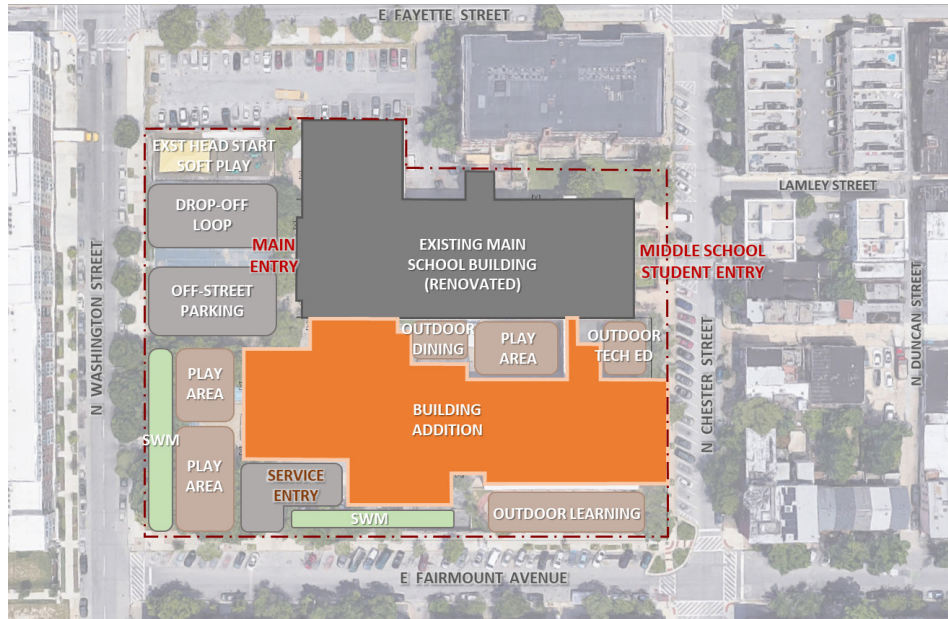
COMMODORE JOHN RODGERS



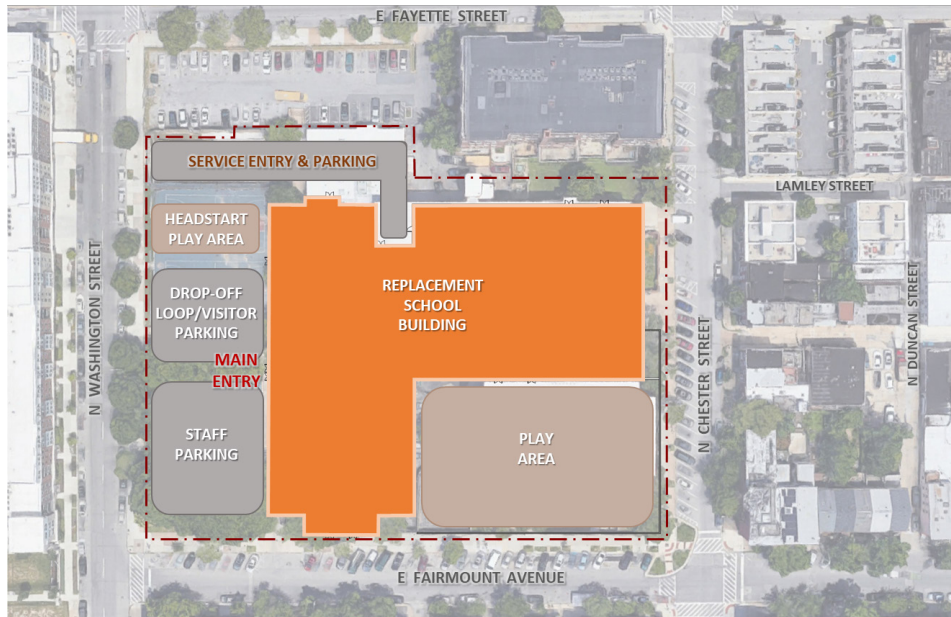
Proposed Site Plan Diagram - Option 01



Proposed Site Plan Diagram - Option 02



Proposed Site Plan Diagram - Option 03



Proposed Site Plan Diagram - Option 04

## COMMODORE JOHN RODGERS

### COST COMPARISONS

*Cost comparisons for all options are provided in Appendix 2.*

### FEASIBILITY STUDY RECOMMENDATIONS

Three Renovation/Addition options and one Replacement option were developed for the expansion of Commodore John Rodgers Elementary-Middle School. After review of the existing facilities, the educational needs of the school and the impact of the addition on the existing building, Option 04 has been selected as the most appropriate. Factors favoring this solution include:

- While the existing building is structurally sound and in good condition, the configuration of the existing building, in particular the structural system, is limiting for efficiently meeting program requirements of the Education Specifications in a Renovation, resulting in a significantly larger Addition than should be required.
- The Replacement option allows for the most effective, and comprehensive, redevelopment of the existing site for improved/increased parking capacity, student drop-off, and play areas.

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## SCOPE, METHODOLOGY & GOALS

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### SCOPE AND INTENT

Conducted for the Baltimore City 21st Century Schools Building Program, this feasibility study included participation from the principal of Commodore John Rodgers Elementary Middle School. Outside professionals working on the study included architects, civil engineers, mechanical and electrical engineers, as well as participants from Baltimore City Public Schools and the Maryland Stadium Authority.

The purpose of the study was to evaluate addition options to house sixth through eighth grades, while minimally impacting the function of the existing school. The scope of work also required the evaluation of the existing building and systems to determine which areas could have less than a 15-year lifecycle and possibly warrant replacement.

### METHODOLOGY

The existing conditions of the school were documented through on-site visits, electronic resources (GIS mapping and Natural Resources sites) and digital photography. Reviews of the original construction documents for the school, as well as those of the alterations which have taken place since its original construction, were undertaken. The feasibility team conducted meetings and presented options for review where the views of interested stakeholders could be discussed, and documented.

### GOALS

The following points summarize the objectives expressed by the principal and by the BCPS administration for planning and eventual design:

- The Renovation/Addition and Replacement should satisfy the requirements of the BCPS Educational Specifications and meet the State educational requirements.
- The Renovation/Addition should not impact the recently renovated Media Center; additional considerations are to be made for the Media Center in the eventual design of the Replacement.
- The Elementary and Middle School students should be separated to the extent possible.
- The Community Spaces should have easy access to the Gymnasium and Media Center.
- The Renovation/Addition or Replacement should allow access to exterior Play Areas from the Gymnasium.
- Site development should include increased parking capacity on-site, improved student drop-off, and a relocated Service Entry.
- Site development should include improved exterior Play Areas.

**COMMODORE JOHN RODGERS**

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## EXISTING CONDITIONS

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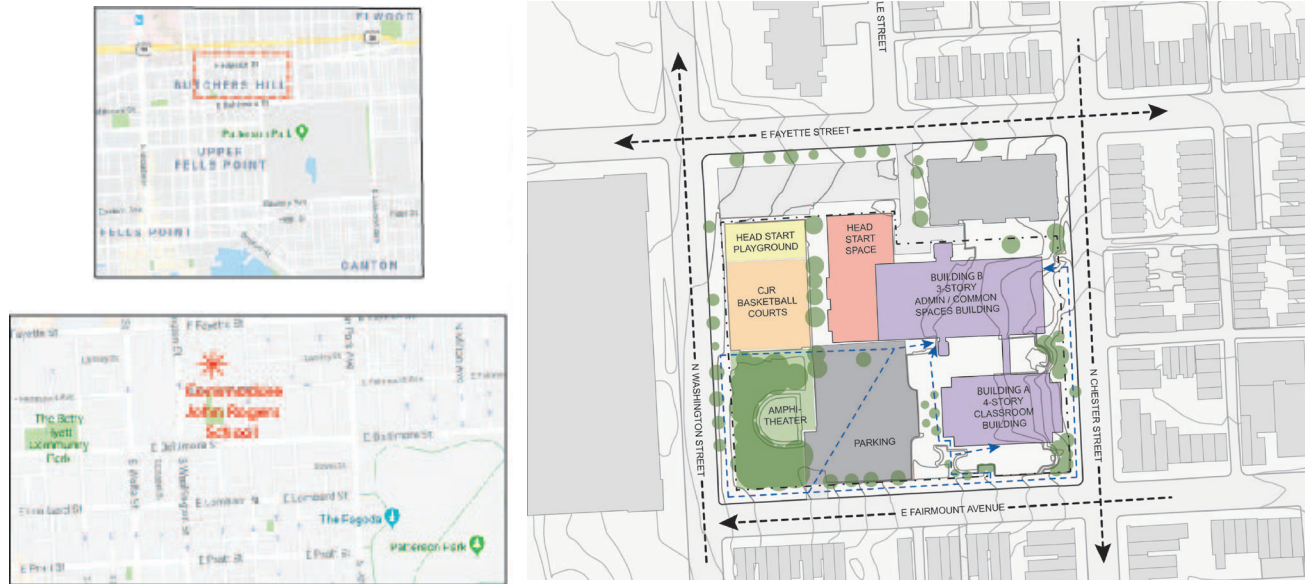
### SITE

#### SITE DESCRIPTION

The existing Commodore John Rodgers Elementary Middle School, Public School No.27, is located at 100 N. Chester Street. The site is approximately 3.051 acres and is irregular in shape.

The property is also known as Ward 6, Section 12, Block 1703, Lot 1. The site is owned by the Mayor and City Council. There are two (2) buildings located on the site. The first is Building B, which is located on the north side of the site, is, “L”, shaped, and the second is Building A, which is located at the southeast corner of the site, is rectangular in shape. Both buildings are connected to each other via a bridge. There are no portable classrooms situated on the site.

The property is bound by N. Chester Street to the east, E. Fairmount Avenue to the south, N. Washington Street to the west, and 2041 E. Fayette Street (Lot 2) to the north. There are single family homes on the east and south sides of the property and commercial properties on the west and north sides of the property.



**Regional, Neighborhood and Location Plans:** UL: Regional plan of Baltimore, with Butchers Hill community outlined in the red box; LL: enlargement of the Butchers Hill community, showing the location of Commodore John Rodgers Elementary-Middle School; and Right: graphic aerial view of Commodore John Rodgers Elementary-Middle School, showing surrounding streets and adjacency, parking and play areas.

#### SITE CIRCULATION AND PARKING

##### Vehicular:

There are two (2) existing vehicular access points onto the site. The first is via a curb cut located on E. Fairmount Avenue. This access point provides access to an existing surface parking lot. There are currently 29 striped parking spaces, which includes 1 handicap parking space. Overall, the parking lot appears to be in fair condition.

The second access point is via a curb cut off of E. Fayette Street. This access point provides access to the dumpster area and is also used for deliveries. It should be noted that this driveway runs across Lot 2, which is currently owned by School 27 Associates Limited Partnership. A Title Report should be performed in order to verify that an ingress/egress easement currently exists to allow the continued use of this driveway.

## COMMODORE JOHN RODGERS

### Pedestrian:

There is unobstructed pedestrian access to the school from the N. Chester Street sidewalk. There are also access points of egress on the south sides of both building. On the west and south sides of the buildings there are many concrete retaining walls and stairs. Chain link fence exists along a portion of the east property line and along most of the southern property line. The fence is in poor condition.

### ZONING INFORMATION

The property is currently zoned as R-8 Detached and Semi-Detached Residential District. The following specific development standards for the R-8 zone of the Baltimore City Zoning Code are provided for guidance only.

Bulk Zoning Regulations for an Elementary School in an R-8 zone are as follows:

Parking	1 Per 4 employees on peak shift, plus 1 per 50 students, based on maximum student capacity.
Maximum Building Height	60 Feet
Minimum Lot Area	3,000 SF.
Maximum floor area	N/A
Maximum Impervious Surface	N/A
Minimum Setbacks	
Front Lot Line	None
Rear Lot Line	25 Feet
Side Lot Lines	10 Feet
Street Corner Side	15 Feet

### SITE SOILS

According to information obtained from the United States Department of Agriculture Natural Resources Conservation Service, the site falls in to two (2) distinct soil groups:

- 33UB: Urban Land, 0 to 8 percent slopes.
- 44UC: Urban Land, 0 to 15 percent slopes.

Additional information regarding these soils is identified below:

Map Unit	Percent of Site Area	Hydrologic Soils Group	AASHTO Classification	Hydric Soils	Topsoil Source
33UB	96%	D	Not Rated	No	Not Rated
44UB	4%	D	Not Rated	No	Not Rated

### SITE TOPOGRAPHY

The site topography has some significant changes in elevation. The Baltimore City GIS topographic survey indicates that the high point of the site is located on the southeast corner of the site at the intersection of N. Chester Street and E. Fairmount Avenue while the low point is located at the northwest corner along N. Washington Street. There is a grade difference of approximately 24 feet from the intersection of N. Chester Street and E. Fairmount Avenue, with the high point elevation of 130+/- falling southeast to northwest, to the low point elevation of 106 +/-, which is located at the northwest corner of the site. The parking lot and the play areas are relatively level.

### UTILITIES

#### Water

Based on our review of existing city records, it appears that the existing building is currently served by a 6" fire Service with a 6" FM meter, (meter no. 4913823), which is located in the sidewalk along N. Chester Street on the northeast corner of the site.

#### Sanitary Sewer

Record drawings obtained from the Owner indicate that there are two (2) sanitary sewer connections to the site. The first, which serves the, Building B, is a 6" sewer pipe that runs westerly along the north side of said building tying into a private manhole located at the angle break of the building. From said manhole, an 8" sewer pipe runs northerly and ties into a public manhole located on the south side of E. Fayette Street. It should be noted that this connection runs across Lot 2, which is currently owned by School 27 Associates Limited Partnership. A Title Report should be performed in order to verify if a utility easement currently exists for utility connection.

The second sanitary sewer connection, which serves Building A, is a 6" sewer pipe which exits the west side of the building and snakes across the site in a westerly direction and connects to an existing public manhole located on the west side of N. Washington Street.

#### Storm Drains

There are storm inlets located in the surrounding roads and at multiple locations on the site. However, record drawing provided by the Owner and that obtained from Baltimore City did not include any information regarding the on-site storm drainage piping. Because of this fact, it is unknown at this time as to how the on-site runoff and roof drains are conveyed to the public storm drain piping located in the city right-of-way. A detailed utility designation and topographic survey should be performed to accurately map the on-site storm drainage system.

#### Site Lighting and Security

The site currently has building mounted light fixtures and freestanding light poles located at various spots along the exterior sidewalks in the public right of way. Security cameras, if existing, were not visible on the grounds.

#### Gas, Electric, Fuel Oil, Cable

BGE gas records indicate that the building is served by a 4" steel medium pressure gas main located at the northeast corner of Building B.

BGE electric records indicate that the buildings are currently served from the north and that the buildings pad mounted transformer is located on the site on the north side of Building B. It should be noted that the electrical service for the site crosses Lot 2, which is currently owned by School 27 Associates Limited Partnership. A Title Report should be performed in order to verify if a utility easement currently exists for utility connection.



## COMMODORE JOHN RODGERS

There are indications on the east side of the building of an underground storage tank (UST). Record drawings indicate that the tank is located approximately 15 feet off of the east side of the building just north of the bump-out in that wall. Regardless of whether this tank will be reused or removed, testing will be required to determine its current condition and the condition of the surrounding soils. Continued use of this tank may affect any grading in this area.

The location and/or existence of Comcast service is unknown at this time.

*See Mechanical/Electrical/Plumbing narrative for additional information.*

### STORMWATER MANAGEMENT

The site lies within the Baltimore Harbor Watershed which is not classified as an inner-jurisdictional watershed, therefore, 10 & 100 year quantity runoff from the site may not be required. No stormwater management facilities currently exist on the site.

The existing impervious cover is slightly less than 40% of the site area, therefore, it is expected that the project will not qualify as “redevelopment”. Environmental Site Design (ESD) practices will need to be applied to treat 100% of the sites proposed impervious area.

### FLOODPLAINS, WETLANDS, AND WATERWAYS

The site is not located within the 100-year floodplain as delineated on FEMA flood insurance rate map 2400870019F. The site is located in Zone X which means an area of minimal flooding.

A review of the Merlin (Maryland Environmental Resources & Land Information Network) mapping indicates that no wetlands or streams exist on the site.

The site is also not within 1000 feet of the Chesapeake Bay and therefore is not located with the Chesapeake Bay Critical Area.

### LANDSCAPE, TREES, AND FOREST CONSERVATION

The “front” of Commodore John Rogers Elementary/Middle School is located along N. Chester Street. There are scattered trees and shrubs around the building and a sparse stand of mature trees located on the southwestern portion of the property near the intersection of N. Washington Street and E. Fairmount Avenue. The majority of the southern and eastern portions of the site have retaining walls with fencing, there are several small garden areas located within the school site along these wall areas.

### ATHLETIC FIELDS / ATHLETIC COURTS / PLAY AREAS

The play areas are located primarily on the western half of the site. They consist of a hard surfaces and two are striped for basketball. There is a soft surface (rubber) play area with play equipment that was recently installed. Reuse of the equipment, if deemed feasible, should be considered. Future play areas should be constructed of soft surface material or artificial turf due to limited available play space.

There is also an existing amphitheater located on the southwest portion of the site. It does not appear that this area is being used at this time. There are currently no athletic field areas on the site.

## EXISTING CONDITIONS



**Southwest Corner:** Showing existing amphitheater and trees.



**Courtyard:** Showing damaged soft play area (this has recently been repaired/upgraded).

## BUILDING

### GENERAL BUILDING INFORMATION

Commodore John Rodgers Elementary Middle School was constructed in 1969 at the heart of the Butchers Hill community. Built in a modern style, the three story concrete and masonry administration building (Building B) and the four story classroom building (Building A) are connected by a two story elevated corridor. There are various levels to the site and the building due to the grade change onsite. The building has had numerous renovations to the interior and the envelope including: the roof, select windows, elevator, media center, cafeteria, and finish upgrades.



**Section through Buildings A & B:** Showing different levels of the building and site.

### BUILDING CODES & ADA

Commodore John Rodgers Elementary-Middle School meets the building code standards for occupancy per Baltimore City. However, due to the age of the building certain accommodations (existing condition exceptions) have been made to allow ongoing use while recognizing its aging infrastructure. New construction could not be built with these exceptions. Some improvements have been made, for example, the fire alarm system has been modernized.

## COMMODORE JOHN RODGERS

Currently, there are multiple spaces within Commodore John Rodgers that are not ADA compliant. The gymnasium as well as many outdoor spaces are separated from an accessible route by stairs. The majority of the outdoor spaces are terraced at different levels with many retaining walls. The current entrances used by both elementary and middle school students are not ADA compliant. An accessible entrance is provided for use at the main entrance on N. Chester Street. There are currently two elevators: one passenger and one freight. In addition, the majority of the plumbing fixtures and student restrooms do not meet current ADA standards. The student restrooms in Building A are accessed through classrooms and not accessible from the corridors.



**Main Entrance - Building B:** Showing accessible ramp.



**Existing Exterior Stair:** Showing access to middle school entrance.



**Existing Stair:** Showing an entrance to the gymnasium.



**Student Restroom:** Showing plumbing fixtures.



## EXISTING CONDITIONS

### BUILDING EXTERIOR CONDITIONS

The exterior facade of both Building A & B have a concrete base with masonry above. Overall, the building envelope is in good condition. There are no apparent cracks, separations or other major defects in the masonry. The windows, while not original, are still in fair to poor condition with the exception of the windows replaced in 2015 as part of the media center renovation, which are in good condition. Most of the windows are aluminum and have operable awnings. There are stained glass windows located in the elevated connecting corridors between the buildings. These windows are single pane and are currently protected to stop the exterior air infiltration. They are considered art and should be protected and salvaged for re-use for the selected option. The roof on both buildings is a 4-ply asphalt roof with piped roof drains and a metal gravel stop roof edge. The roof was recently replaced and is in good condition.



**Building B:** Showing concrete base with masonry above.



**Building A:** Showing concrete base with masonry above.



**Existing Windows:** Showing stained glass windows (to be salvaged and reused).



**Existing windows:** Showing typical classroom window.



## COMMODORE JOHN RODGERS



**Exterior Bridge Connection:** Showing connector between Building A and Building B.



**Existing Roof:** Showing condition of roof for Building A and Building B.

## INTERIOR CONDITIONS

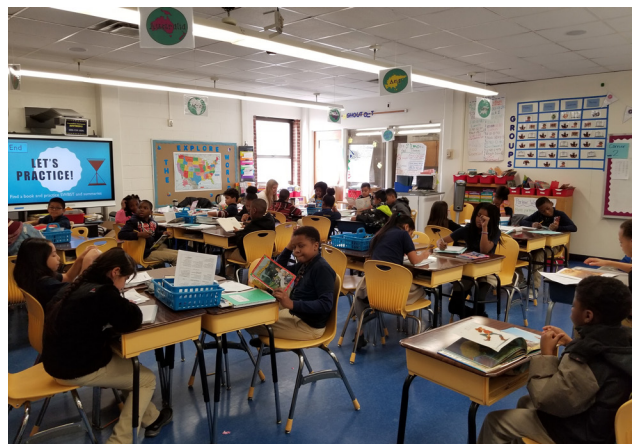
The overall interior condition of Commodore John Rodgers Elementary Middle School is fair to good. The cafeteria and the media center have been recently renovated. There have also been finish upgrades to classrooms and corridors. The finishes appear to be well maintained.

The gymnasium is very undersized for the student population and also sits four feet below the ground level. It is only accessible by stairs and is experiencing water infiltration issues from below grade. The cafeteria, although recently renovated, has built in desks and casework that do not allow the space to be used efficiently for the size of the student population.

Multiple classrooms are permanently separated by operable partitions. In addition, most of the other fixed partition walls do not extend to the deck. This allows for sound transmission between classrooms. A lack of storage has led to many of the hallways on the ground floor functioning as storage locations.



**Interior Bridge Connection:** Showing corridor leading from Building A to Building B.



**Existing Typical Classroom:** Showing condition of finishes.

## EXISTING CONDITIONS



**Existing Cafeteria:** Showing built-in casework in the middle of the space.



**Existing Stair:** Showing stairwell being used for storage.



**Existing Gymnasium:** Showing condition of finishes.



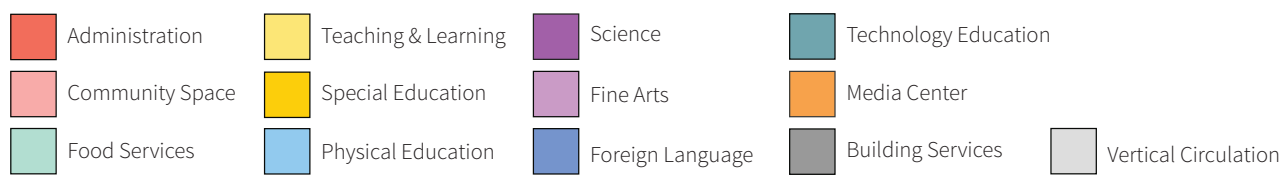
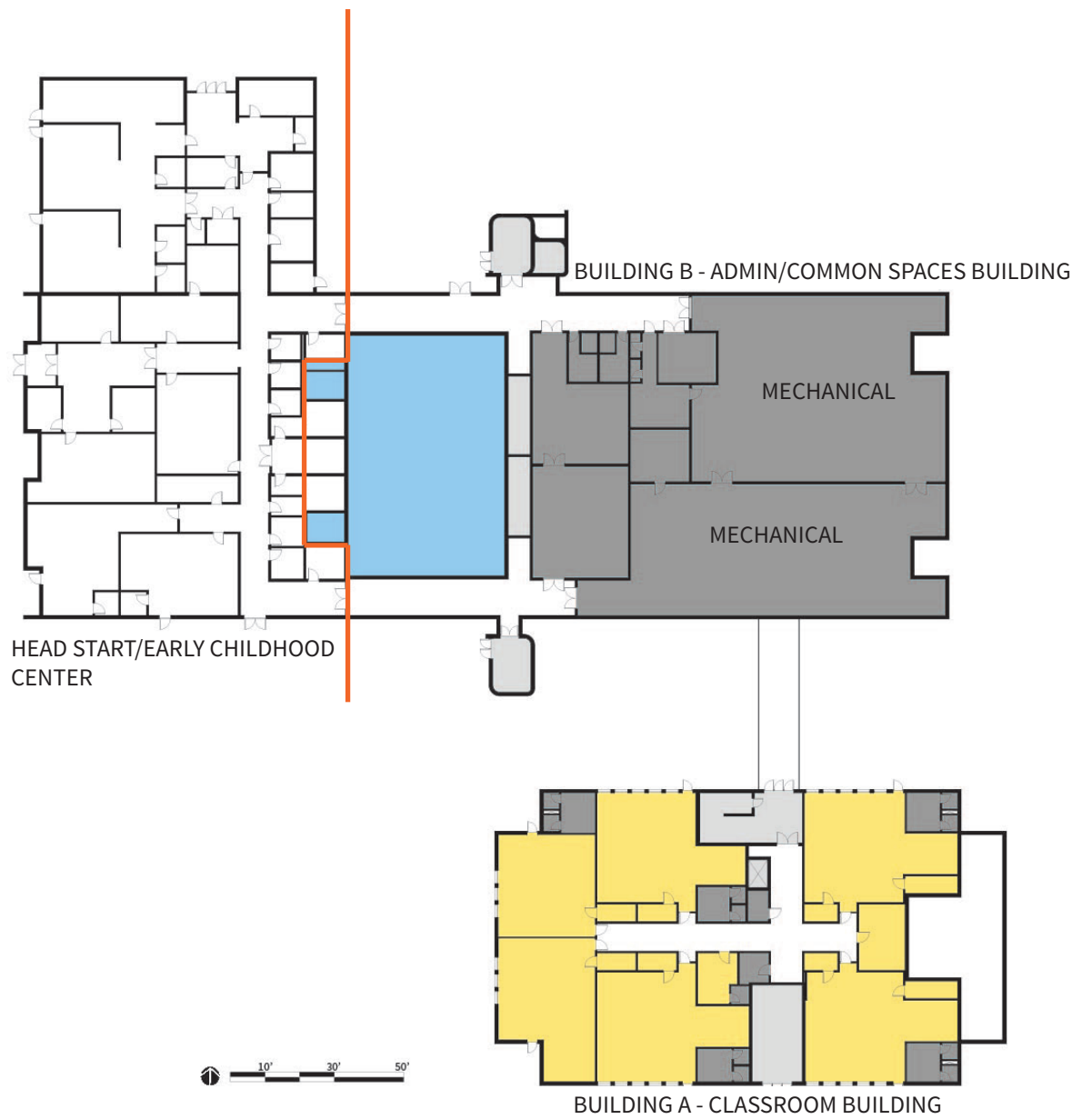
**Existing Typical Corridor:** Showing water cooler and desks.



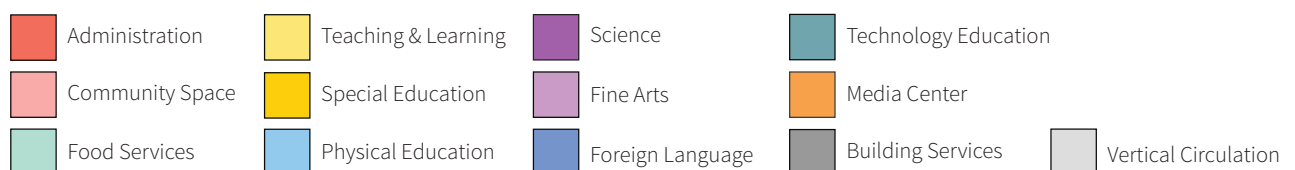
**Existing Stair:** Showing condition of finishes.



EXISTING GROUND FLOOR PLAN

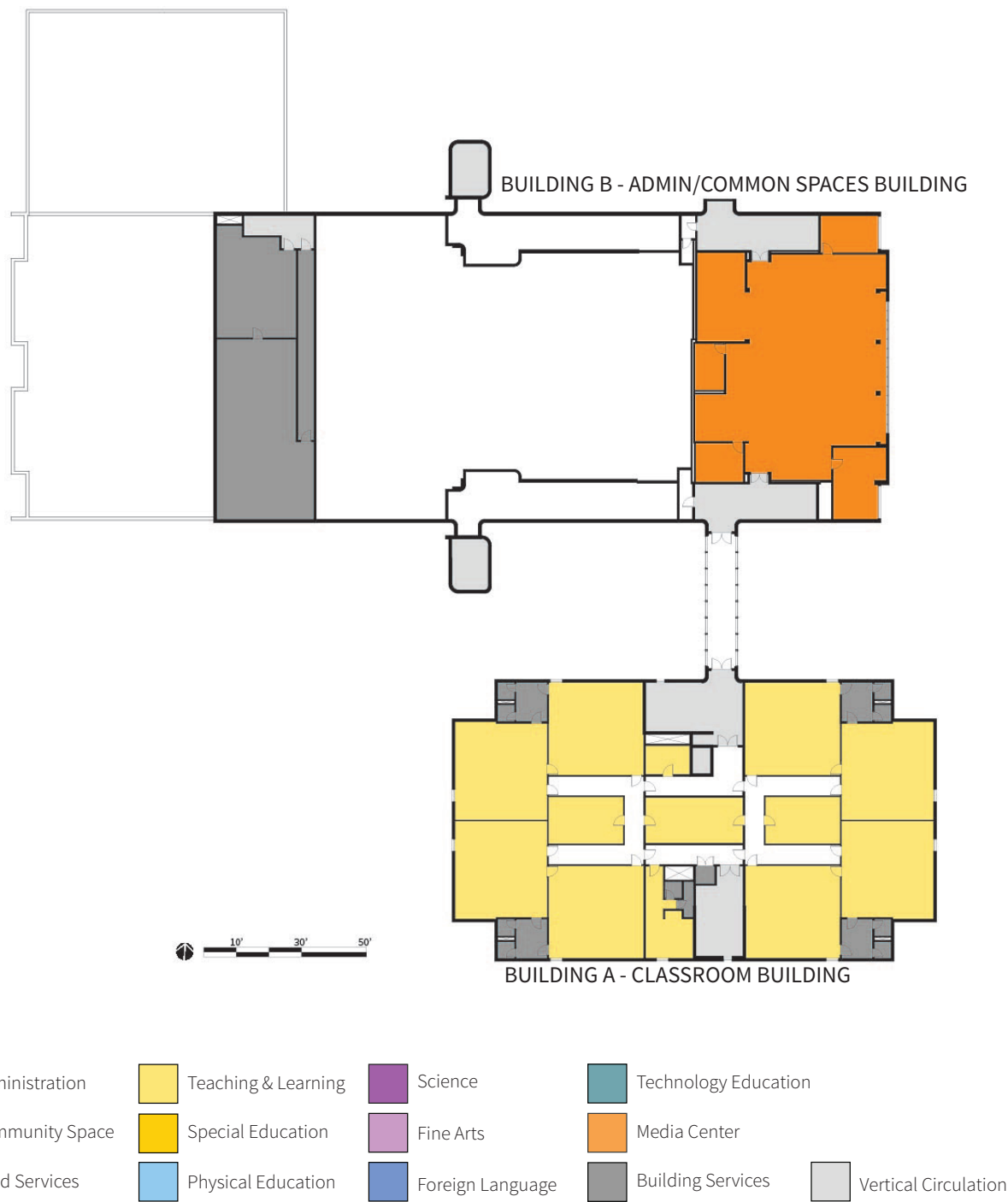


EXISTING FIRST FLOOR PLAN

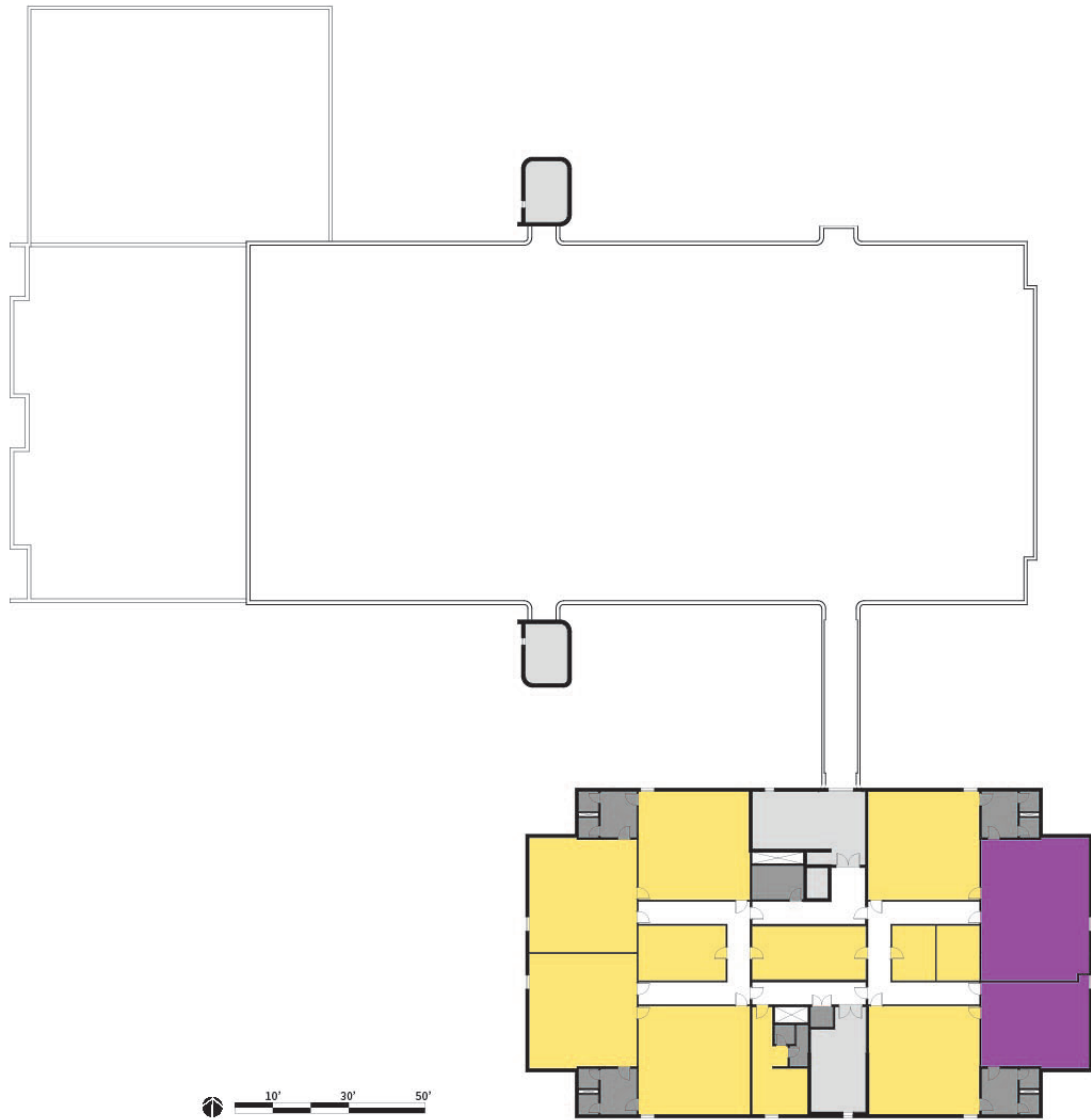




EXISTING SECOND FLOOR PLAN



EXISTING THIRD FLOOR PLAN



BUILDING A - CLASSROOM BUILDING

<span style="display:inline-block; width:15px; height:15px; background-color: #f06292;"></span> Administration	<span style="display:inline-block; width:15px; height:15px; background-color: #ffeb3b;"></span> Teaching & Learning	<span style="display:inline-block; width:15px; height:15px; background-color: #9c27b0;"></span> Science	<span style="display:inline-block; width:15px; height:15px; background-color: #00bcd4;"></span> Technology Education
<span style="display:inline-block; width:15px; height:15px; background-color: #ff8a65;"></span> Community Space	<span style="display:inline-block; width:15px; height:15px; background-color: #ff9800;"></span> Special Education	<span style="display:inline-block; width:15px; height:15px; background-color: #e1bee7;"></span> Fine Arts	<span style="display:inline-block; width:15px; height:15px; background-color: #ff9800;"></span> Media Center
<span style="display:inline-block; width:15px; height:15px; background-color: #81c784;"></span> Food Services	<span style="display:inline-block; width:15px; height:15px; background-color: #2196f3;"></span> Physical Education	<span style="display:inline-block; width:15px; height:15px; background-color: #3f51b5;"></span> Foreign Language	<span style="display:inline-block; width:15px; height:15px; background-color: #757575;"></span> Building Services
			<span style="display:inline-block; width:15px; height:15px; background-color: #bdbdbd;"></span> Vertical Circulation

## COMMODORE JOHN RODGERS

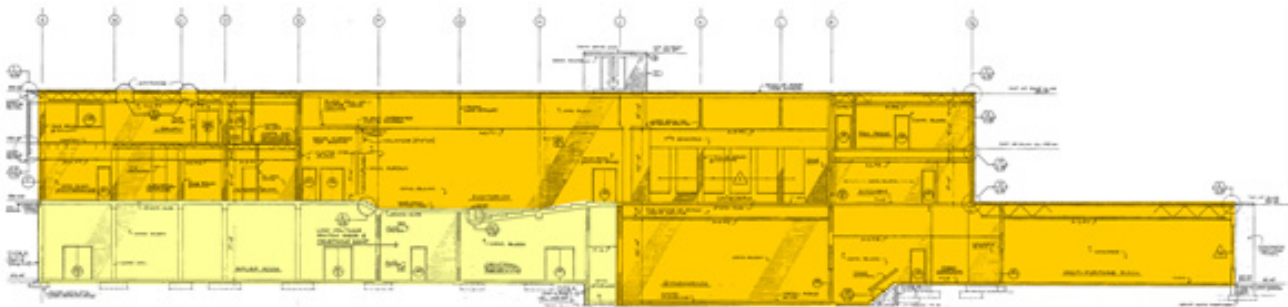
The configuration of the existing student restrooms only allow a student to access restrooms through a classroom. There are no water fountains in the Building A. Drinking water is supplied from water coolers.

### STRUCTURAL SYSTEMS

#### Existing Conditions

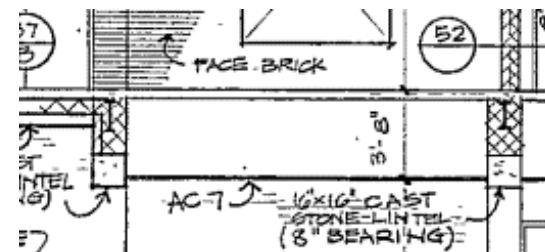
Commodore John Rodgers Elementary Middle School is separated into two structures connected by an elevated bridge. Each structure is located north and south of each other. At the time of the survey, no existing structural drawings were available.

The north wing (Building B per as-built drawings, dated 1969) is indicated as a combination of both steel and concrete framing throughout the building.



**Building B Long Cross Section:** yellow indicates concrete framing, orange indicates steel framing.

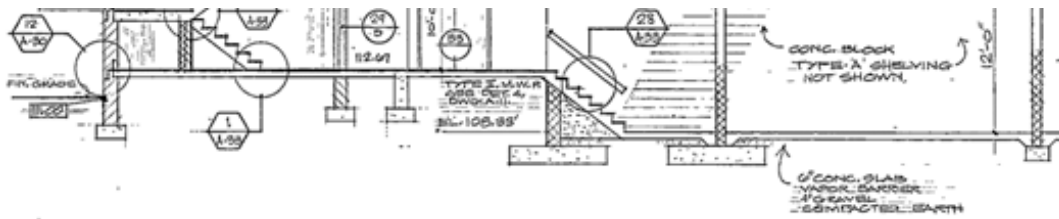
Typical bay sizes were approximately 18'-0" by 18'-0" with longer spans at the gymnasium and auditorium/cafeteria bays. Some corridor and hallway openings noted the use of cast-stone lintels. No significant signs of deterioration or degradation were observed during the site survey.



**Section for Openings:** Supported by cast-stone lintels.

The as-built drawings indicate a 6" slab on grade on a vapor barrier and 4" of gravel placed on compacted soils. Graphical representation of the footing below suggest that the building has been placed on shallow foundation; however, further investigation will be required to verify this.

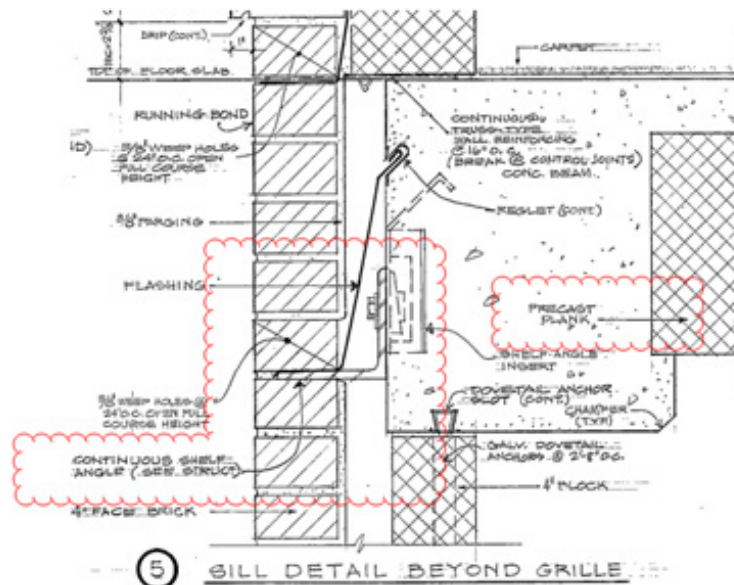
## EXISTING CONDITIONS



**Sections A-A and B-B:** indicating the building's foundation system.

The foundation system was not observable at the time of the survey, but all foundation walls and slabs on grade were observed to be in good condition and showed no signs of water leakage, grade settlement, or any other structural concerns.

The exterior of the building shows full height support of brick at the first elevated level or at grade; no significant signs of facade degradation were observed during the time of the survey. Continuous brick relief angles were also noted at each level to be embedded into the perimeter concrete spandrel beams.



**Perimeter Section:** Indicating a continuous brick relief angle, concrete beam, and precast planks.

Further investigation is required to confirm the structure and the layout of the concrete framing (reinforcement, slab thicknesses, strength of concrete, foundation system, etc.), but any additional investigation will only confirm the building's capability to sustain for another 15 years.

## MECHANICAL SYSTEMS

### General:

The Commodore John Rogers Elementary Middle School is located at 100 N Chester St. Baltimore, MD 21231. The school is comprised of two separate buildings connected via a bridge.

- Building A, 4 story building with a penthouse
- Building B, 3 story building with an attached single story Head Start/Early Learning Center space.

## COMMODORE JOHN RODGERS

The major mechanical systems and equipment are located in three different spaces as follows:

- Penthouse, Building A
- Boiler Room, Building B
- Fan room, Building B over the kitchen

Multiple renovations have recently taken place, as noted below. Recently installed systems should be salvaged and made available for reuse in the event of a Replacement.

- 2014: Elevator upgrades with new elevator vent shaft and split air conditioning unit.
- 2012: Cafeteria and auditorium renovation with modification to the ductwork and air devices associated with dual duct system to accommodate the architectural renovations.
- 2008: Second floor computer room renovation including a new 1.5 ton split air conditioning unit.
- Boiler (2021) and chiller (2020) replacement.

Central heating and cooling systems:

Two existing steam boilers have been replaced within the last 15 years with two gas fired Weil-McLain steam boilers each with approximately 1.3 MBH capacity. The steam then serves two steam-to-hot-water convectors, one located in the boiler room (495 GPM at 180 degree of F) and the second one located in the fan room above the kitchen (68 GPM at 180 Degree of F).

Boiler feed pumps and the condense return system appear to be outdated and have reached the end of normal service life.

Although some of the main steam / hot water piping appears to have a fairly new insulation, there are many pipes without insulation that show signs of deterioration.

The original absorption chiller located in the boiler room has been replaced within the last 10 years with a new Screw MaxE York Chiller, YR TC T1-46 with approximately 260 tons capacity.



**Existing Photo:** In-Progress 2021 Boiler Replacement (Boiler Room, Building B)



## EXISTING CONDITIONS



**Existing Photos:** Existing Chiller (Boiler Room, Building B)



**Existing Photos:** In-Progress Chiller Replacement (Penthouse, Building A)



Existing forced draft counter-flow cooling tower associated with the screw chiller appears to be outdated and has reached the end of its normal service life.

The existing 50 ton air cooled chiller located in the fan room over the kitchen is not in working condition.

Hot water and chilled water circulating pumps appear to be fairly new and are operational.

### Building A, Mechanical System:

The Dual Duct System serves the majority of the spaces in this building. In dual-duct systems, the air handling unit has two coils, a continuously operating cooling coil and a continuously operating heating coil. The cooling coil feeds chilled air into a cold air duct. The heating coil feeds hot air into a hot air duct. The two ducts run parallel throughout the building. Although a dual duct system provides very good individual room controllability, it is not an efficient way to heat and cool a building. Individual dual duct air terminal units were not able to be reviewed in site visits, however it is obvious that the majority of these air terminal units are obsolete and have reached the end of their normal service life.

## COMMODORE JOHN RODGERS

### Building B, Mechanical System:

A combination of Dual Duct System, single zone constant volume system, and packaged rooftop units serve the majority of the spaces in this building. It was not confirmed in the conducted site visits that the original multi-zone air handling unit is still active or if it has been decommissioned and replaced with the packaged rooftop units. Further investigation would be required to identify the operation of all original air handling units. Nonetheless, the preliminary site investigation showed that the majority of the HVAC equipment is outdated and has reached the end of its normal service life.

### HVAC Control System:

Local pneumatic control has been identified throughout the building. In addition, it appears that a limited communication / interface is provided through the Johnson Controls Metasys system. Although many control valves and dampers are in operation, in general the existing HVAC control system has not been upgraded to a DDC system and has reached the end of its normal service life.

The existing air compressor associated with the pneumatic control system is in operation. However if a new DDC control system is installed in the near future, this compressor should be removed.

Summary of major existing air handling units are listed on Table No. M-1 below.

**Table No. M-1**

Unit ID	Serving	Location	Airflow (CFM)	Heating / Cooling	Remarks
AHU-A-1	Classrooms	Building A – Penthouse	36,000	Yes	
AHU-B-1	Administration	Building B - Ground Floor	22,000	Yes	High Pressure Dual duct
AHU-B-2	Cafeteria	Building B - Ground Floor	10,000	Yes	Medium pressure draw Thru
AHU-B-3	Auditorium	Building B - Ground Floor	9,600	Yes	Medium pressure draw Thru
AHU-B-4	Gymnasium	Building B - Ground Floor	8,000	H&V	
AHU-B-5	Recreation	Building B in Fan RM over the Kitchen	15,200	Yes	Medium Pressure – Multi Zone
AHU-B-6	Kitchen	Building B in Fan RM over the Kitchen	8,000	H&V	
RTU-1	Multi-purpose Room	Room Building B	-	Yes	Packaged rooftop
RTU-1	Multi-purpose Room	Room Building B	-	Yes	Packaged rooftop

### PLUMBING SYSTEMS:

#### Plumbing Fixtures and Distribution Piping:

Existing plumbing fixtures appear to be original to the building. It must be noted that low-lead fixtures have only made an appearance in the industry in the past 3 years and these fixtures should be replaced to meet the current low-lead laws. Plumbing distribution piping is original to the building. This piping is well past the service life of piping, and also may contain lead and should be removed during any future renovation project.

## EXISTING CONDITIONS

The steam to hot water generator is also original to the building and it has reached the end of its normal service life.

The existing 4" domestic water service located on the boiler does not have a backflow prevention device.

The gas meter and associated pressure regulators are located in the boiler room.

The existing 4" fire incoming service with associated backflow preventer appears to be fairly new and operational.

### Mechanical & Plumbing Summary:

With the exception of the boiler and main distribution piping in the boiler room, the entire heating, cooling, drainage and plumbing system has exceeded its useful life expectancy.



**Existing Photo:** Showing plumbing fixtures.



**Existing Photo:** In-progress HW Heater Replacement



**Existing Photo:** In-Progress HW Heater Replacement



**Existing Photo:** Incoming fire service with backflow preventer.



## COMMODORE JOHN RODGERS

### ELECTRICAL SYSTEMS:

#### Power Distribution:

The power to the building is served through 3 disconnects rated at 480Y/277V, 3 phase, 4 wire. The leftmost disconnect feeds an 800A main circuit breaker panel MDP, which feeds most of the building loads. The disconnect next to it feeds the main lug only panel CH which feeds the chiller and the freight elevator. The rightmost disconnect feeds other miscellaneous building loads.

Panel MDP is old and needs to be replaced due to age. Consideration should be given to a full replacement of the distribution system.

The electrical service is powered from a BGE (Baltimore Gas and Electric) pad mounted transformer located outside the building.



**Existing Photo:** Panel MDP.



**Existing Photo:** Building electrical disconnects.



**Existing Photo:** Building Electrical Service

## EXISTING CONDITIONS

### Emergency Power:

There is no emergency generator for the building, and emergency lighting uses integral battery backup. The batteries in the emergency lights have limited lifespan, which is typically somewhere between 5 to 10 years, so it is recommended that the batteries be replaced within the next 15 years.

### Lighting:

The existing lights are a combination of fluorescent and high intensity discharge luminaires. The latest LED lights that are available in the lighting industry today, are more efficient than these existing lights. Existing lights that are in good condition should be salvaged and turned over to City Schools, but not reused in the selected Option.

### Fire Alarm System:

The fire alarm system for the cafeteria and auditorium is relatively new. This newer fire alarm system is cross connected to the older fire alarm system. The older fire alarm system provides coverage for most of the building, and it needs to be replaced due to age within the next 15 years. As the cafeteria and auditorium fire alarm system provides coverage for a relatively small part of the building, it is recommended that this be replaced as well. This will ensure that the fire alarm system of the entire school is from one manufacturer, and all fire alarm devices are fully compatible with each other.



**Existing Photo:** Fire alarm control panel for cafeteria and auditorium.



**Existing Photo:** Fire alarm control panel for most of the building.

### Public Address System:

The public address system allows communication from the main office to the classrooms. This system will last for another 15 years and should be salvaged and turned over to City Schools, but not reused in the selected Option.

## COMMODORE JOHN RODGERS

### Auditorium Sound System:

The auditorium sound system allows music and other audio signals from the stage to be projected throughout the entire auditorium. This system will last for another 15 years and should be salvaged and turned over to City Schools, but not reused in the selected Option.



**Existing Photo:** Auditorium sound system rack.



**Existing Photo:** CCTV system rack.

### CCTV (Closed Circuit Television) Security System:

The CCTV System allows for monitoring of key areas of the building. This system will last for another 15 years and should be salvaged and turned over to City Schools, but not reused in the selected Option.

### Intrusion Detection Security System:

The intrusion detection system uses security devices such as motion detectors to sense the presence of intruders within the building. This system will last for another 15 years and should be salvaged and turned over to City Schools, but not reused in the selected Option.

### Clock System:

The clock system is old and needs to be replaced, regardless of the Option selected.

### Card Access Security System:

The card access system allows control of doors to be restricted to personnel with the proper authorization. This system will last another 15 years, however the batteries within each card reader will need to be replaced regularly in accordance with the manufacturer's recommendations. This system should be salvaged and turned over to City Schools, but not reused in the selected Option.

### Telecommunication System:

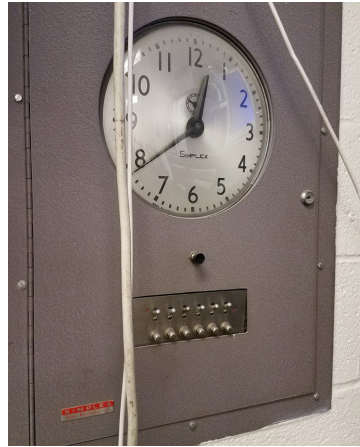
Telecommunication system IT cabinet, and telephone punch blocks provides voice and data service for the building. This system will last for another 15 years and should be salvaged and turned over to City Schools, but not reused in the selected Option.



## EXISTING CONDITIONS



**Existing Photo:** Intrusion detection system keypad.



**Existing Photo:** Clock system control panel.



**Existing Photo:** Public address system control panel.



**Existing Photo:** Card access system, card reader.



**Existing Photo:** IT cabinet.



**Existing Photo:** Telephone punch blocks.

## COMMODORE JOHN RODGERS

### Miscellaneous Items:

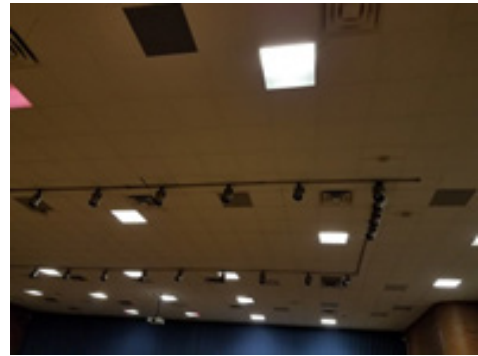
There are existing conduits in the ceiling area of the gymnasium that need to be replaced and/or rerouted so that they are tighter to the ceiling. Also, the auditorium lighting system is old and needs to be replaced.



**Existing Photo:** Hanging conduit in Gymnasium.



**Existing Photo:** Auditorium lighting control panel.



**Existing Photo:** Auditorium flood lights.

### Electrical Summary:

Based on existing drawings and field surveys, many of the existing systems will last for 15 more years, as long as they are properly used and maintained, in accordance with the manufacturer's recommendations and industry standards/codes. These systems should be salvaged and turned over to City Schools, but not reused in the selected Option.

However, there are some systems that are old and need to be replaced within the next 15 years, including the Panel MDP, Clock System, Auditorium Lighting System, and Fire Alarm System. These systems should be salvaged and turned over to City Schools, as appropriated and needed, but not reused in the selected Option.

Also, the hanging conduit in the gymnasium needs to be replaced and/or rerouted.

Additionally, the fire alarm system, telecommunications, public address, and security systems will need to be expanded and upgraded in order to incorporate the proposed building addition for the school.

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## DETAILED DESCRIPTION OF OPTIONS

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### GENERAL INFORMATION

Four options have been considered for a middle school addition to Commodore John Rodgers Elementary Middle School. Each Renovation/Addition option utilizes the south/southwest side of the site for an addition and will require the relocation of on-site parking. The Replacement option utilizes the north and west side of the site for the new building.

### CIVIL CONSIDERATIONS

Due to the site constraints, there were limited options for the location of the building addition. As part of the requirements of the project, the existing Head Start/Early Childhood Center building and play area could not be impacted by the addition. Therefore, all of the addition options are located in the same general area on the south/southwest side of the site.

Many of the site impacts are the same for all addition options as listed below:

- The existing amphitheater would be infilled to provide space for parking and/or the addition.
- The wooded area located at the southeast corner of the property around the amphitheater would be impacted.
- The proposed addition would impact an existing electrical duct bank and a portion of the private 6" sanitary sewer that serves the existing Building A (4 story classroom building).
- The proposed addition would impact the existing on-site storm drainage system. (Note: there are no drawings available that show how the on-site storm drainage is connected to the public storm drains.)
- The proposed addition would impact a large portion of the existing retaining wall that separates the existing parking lot and the existing Building A (4 story classroom building).

### MECHANICAL CONSIDERATIONS

With the exception of the boiler and main distribution piping in the boiler room, the entire existing heating, cooling, drainage and plumbing system has exceeded its useful life expectancy. Therefore, any building addition will require a new stand alone system.

More in depth HVAC calculations would be required in conjunction with a full design modification system identifying the new equipment such as boilers, fan coil units, unit ventilators, VAV air terminal units, hybrid systems, etc. as required to support the new architectural addition. The proposed new HVAC system should include an evaluation for code compliance to meet the new program and any upgrades needed for the existing system in order to simultaneously interface with the new addition.

Mechanical Evaluation of the Proposed Building Addition Options:

From a mechanical perspective, the proposed electrical systems for all 4 options are similar.

### ELECTRICAL CONSIDERATIONS

Power Distribution:

The proposed building addition will be powered from a new electrical service. A new BGE utility transformer will be installed on the southwest side of the proposed building addition. New primary and secondary ductbanks will be installed, and a new service entrance electrical switchboard is required within the proposed building addition. A dedicated electrical room is required for this switchboard. The existing utility transformer will be removed after the new utility transformer is energized and operational.

## COMMODORE JOHN RODGERS

The new electrical switchboard in the proposed building addition, will feed the existing electrical service disconnects, which serves the existing-to-remain portion of the school. The proposed building addition will be fed from the new electrical switchboard as well.

The size/capacity of the new electrical switchboard and utility transformer will be determined during the design phase of the project based on equipment loads, and utility coordination.

### Emergency Power:

Emergency lighting for the proposed building addition will utilize battery back type lighting fixtures.

### Lighting:

All the lights at the proposed building addition will utilize high efficiency LED type lights, and will comply with the latest energy requirements of the IECC (International Energy Conservation Code). Lighting fixtures will be selected to maximize energy efficiency and reduce glare. Occupancy sensors (infrared technology, ultrasonic technology, or dual infrared/ultrasonic technology types) will be provided to switch lights off when there are no occupants in the space. Daylight harvesting will be provided to dim or turn off lights where required by the IECC, and where there is plenty of natural light. Exterior lighting will be controlled by astronomic time clocks and photocell switches.

### Fire Alarm System:

A new fire alarm system will be provided for both the existing building and proposed building addition. The fire alarm system will incorporate fire alarm smoke detectors, heat detectors, strobes, speakers, pull stations, and annunciators in accordance with the applicable IBC (International Building Code) and NFPA (National Fire Protection Association) Codes. The location of the fire alarm graphic annunciator panel will be coordinated with the AHJ (Authority Having Jurisdiction). The panel will include a graphic map of the existing and proposed buildings to allow the fire department to quickly find the source of a fire related emergency.

### Public Address System:

The existing public address system at the existing building will be upgraded and expanded into the proposed building addition. This will allow the main administration office to communicate with the rooms in both the existing and proposed buildings.

Classrooms and offices will have wall or ceiling speakers for public notification, and telephone handsets for private discussions.

### Telecommunications System:

The existing telecommunications system at the existing building will be upgraded and expanded into the proposed building addition. The proposed building addition will be provided with voice and data jacks and cables which comply with the latest School standards.

### CCTV, Intrusion Detection, and Card Access Security Systems:

The existing Security Systems will be upgraded and expanded into the proposed building addition. Security devices and equipment will be provided to maximize the security of the building. The proposed building addition will be provided with motion detectors in corridors, classrooms, and other areas where intruders may move through. The proposed building addition will be provided with cameras at corridors and around the exterior perimeter of the building. Card readers will be provided to protect rooms with secure or valuable items.

### Clock System:



## DETAILED DESCRIPTION OF OPTIONS

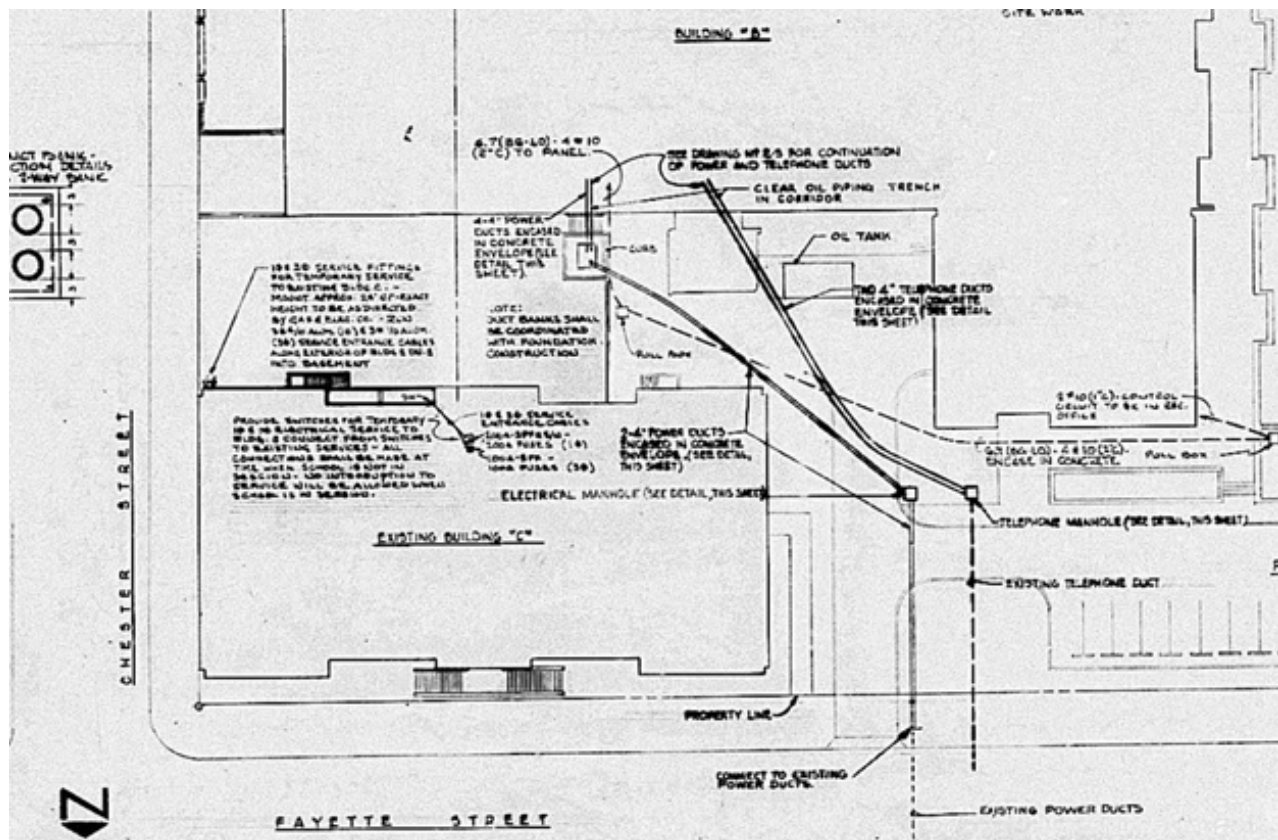
A new Clock System will be provided for both the existing and proposed building addition. Clocks will be provided in the classrooms and corridors. The clocks will all be synchronized to the central clock control panel.

### Auditorium Lighting System:

A lighting system will be provided for the existing auditorium. The lighting system will use LED floodlights and the latest lighting control technology to allow for stage productions to be held at the auditorium stage.

### Electrical Evaluation of the Proposed Building Addition Options:

The proposed building additions, for all 4 options, are located on the South side of the school, near East Fairmount Ave. The existing electric and telephone utilities for the school come from East Fayette St, on the North side of the school, per the 1969 drawings. These existing utilities do not come into conflict with the proposed building additions of all 4 options. From an electrical perspective, the proposed electrical systems for all 4 options are similar.



Electrical Plan from 1969 original drawings.

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### OPTION 01: STRATEGIC RENOVATION & ADDITION

This option includes a very limited renovation scope to address systemic and finish upgrades and relocation of program spaces within the current spaces. Interior demolition/construction is limited to work required for systemic upgrades and code deficiencies and no interior. A building addition would be constructed adjacent to the existing Building A to meet the remaining Ed Spec requirements for program spaces.

**Advantages:** Minimizes physical impact to existing building; Provides properly sized Gymnasium; Minimizes impact to site; Improved student circulation within the building.

**Disadvantages:** Many spaces remain programmatically deficient; Food Service remains remote from Service Entry; Music Classrooms are remote from Auditorium; Building addition limits amount of useable site for parking and activity; Service Entry must be accessed from neighboring property (existing condition to remain); Building significantly oversized.

#### OPTION 01 AREA SUMMARY

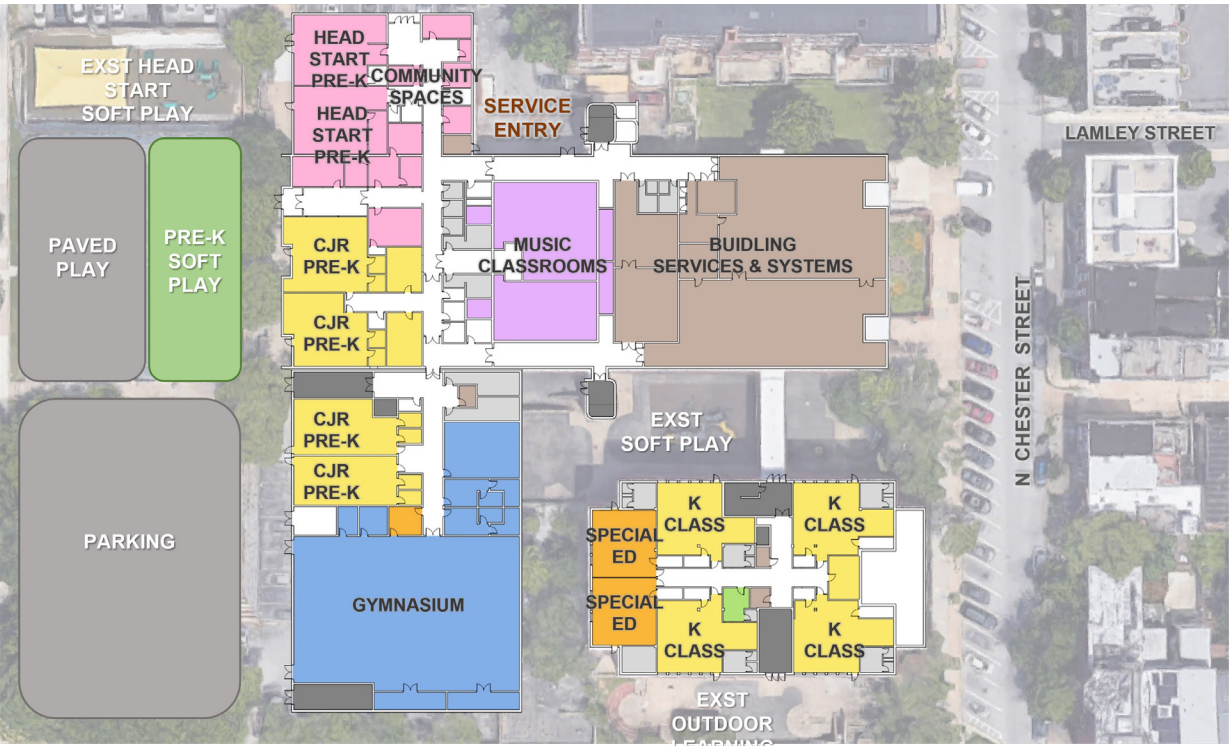
Existing Building:	106,055 GSF
City Schools Ed Spec:	120,315 GSF (Original 2020 version)
Interior Renovation:	106,055 GSF
Building Addition:	50,000 GSF
Total Project:	156,055 GSF



Proposed Site Plan Diagram - Option 01



DETAILED DESCRIPTION OF OPTIONS



Proposed Ground Floor Plan Diagram - Option 01

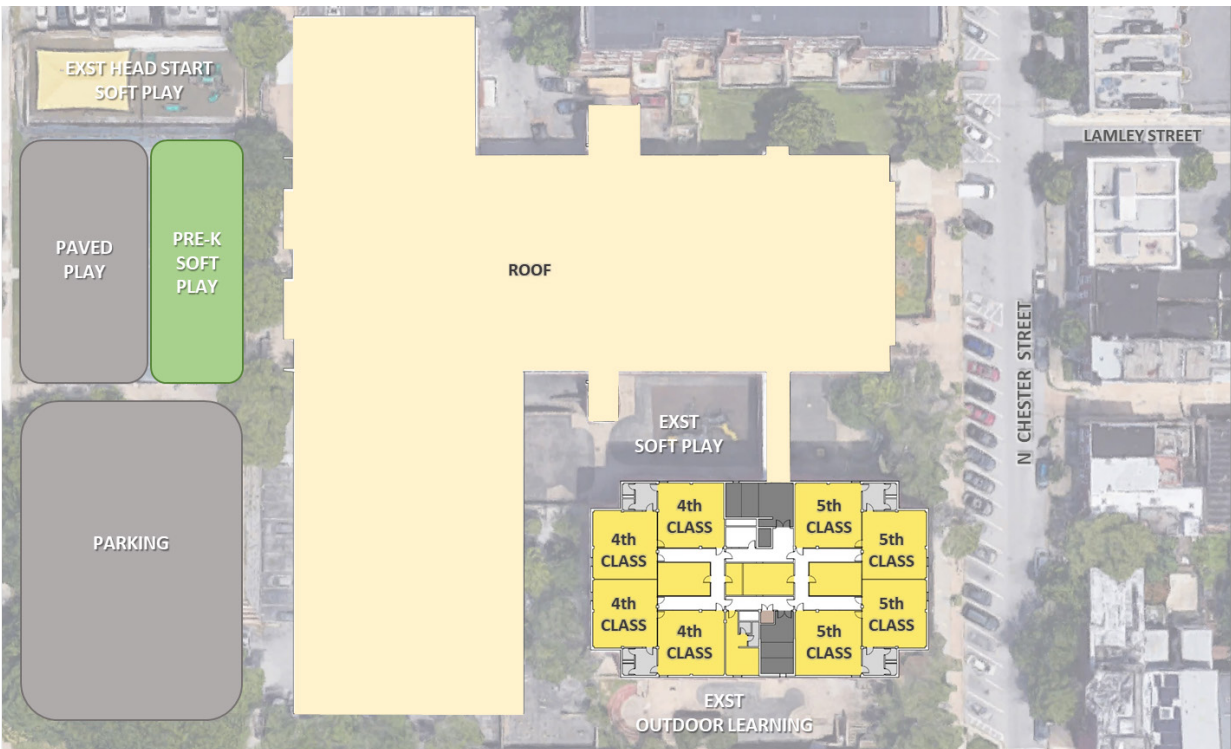


Proposed First Floor Plan Diagram - Option 01

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Proposed Second Floor Plan Diagram - Option 01



Proposed Third Floor Plan Diagram - Option 01



## DETAILED DESCRIPTION OF OPTIONS

### OPTION 02: MAJOR RENOVATION & ADDITION

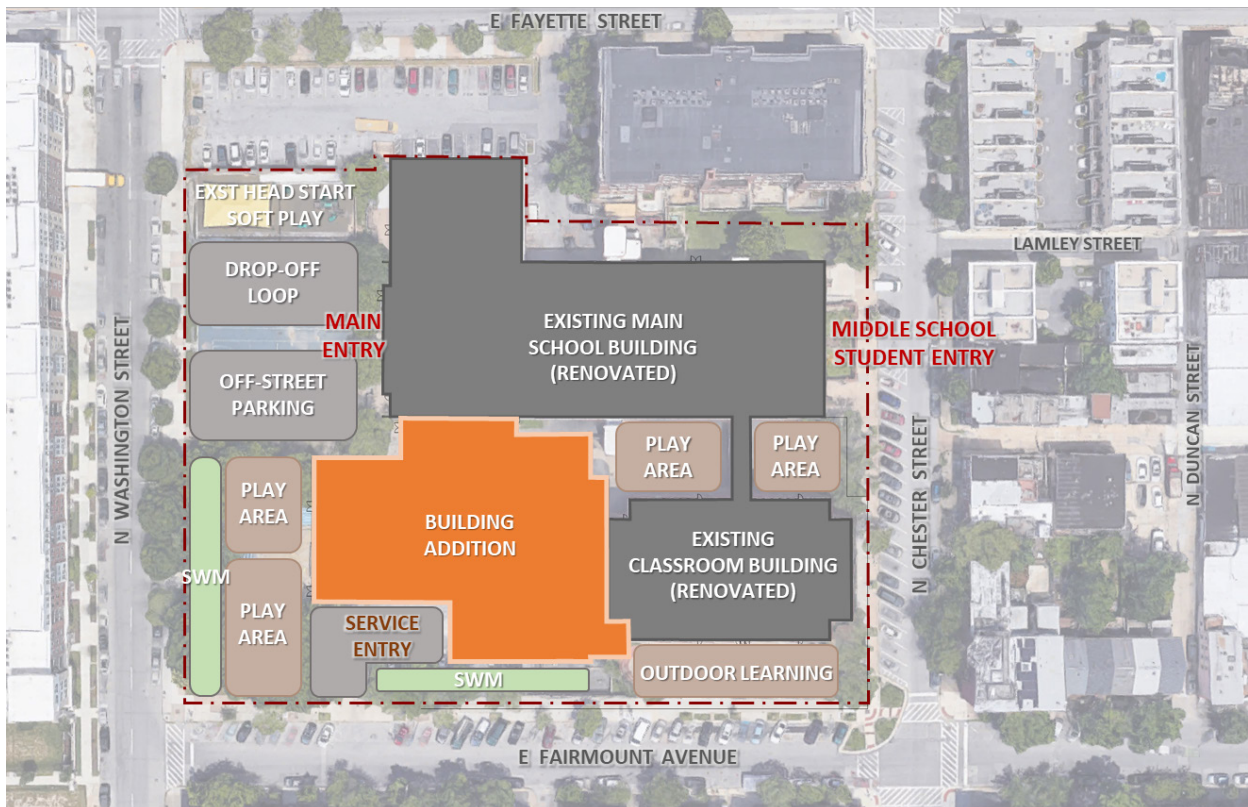
This option includes a more extensive renovation scope, addressing the upgrades in Option 01 as well as reconfiguration of interior spaces in the existing building to work towards satisfy the Ed Spec requirements for program spaces. The new four-story addition would be located next (and connected) to Building A and be connected to both Buildings A (ground level) and B (all levels).

**Advantages:** Minimizes physical impact to existing building; Provides properly sized Gymnasium and Cafeteria; Most spaces meet program requirements; Minimizes impact of site; Improved student circulation within the building; Relocates Service Entry so it is accessed from City School's property ONLY.

**Disadvantages:** Some spaces remain programmatically deficient; Building addition limits amount of useable site for parking and activity; Building significantly oversized.

#### OPTION 02 AREA SUMMARY

Existing Building:	106,055 GSF
City Schools Ed Spec:	120,315 GSF (Original 2020 version)
Interior Renovation:	106,055 GSF
Building Addition:	35,600 GSF
Total Project:	141,655 GSF

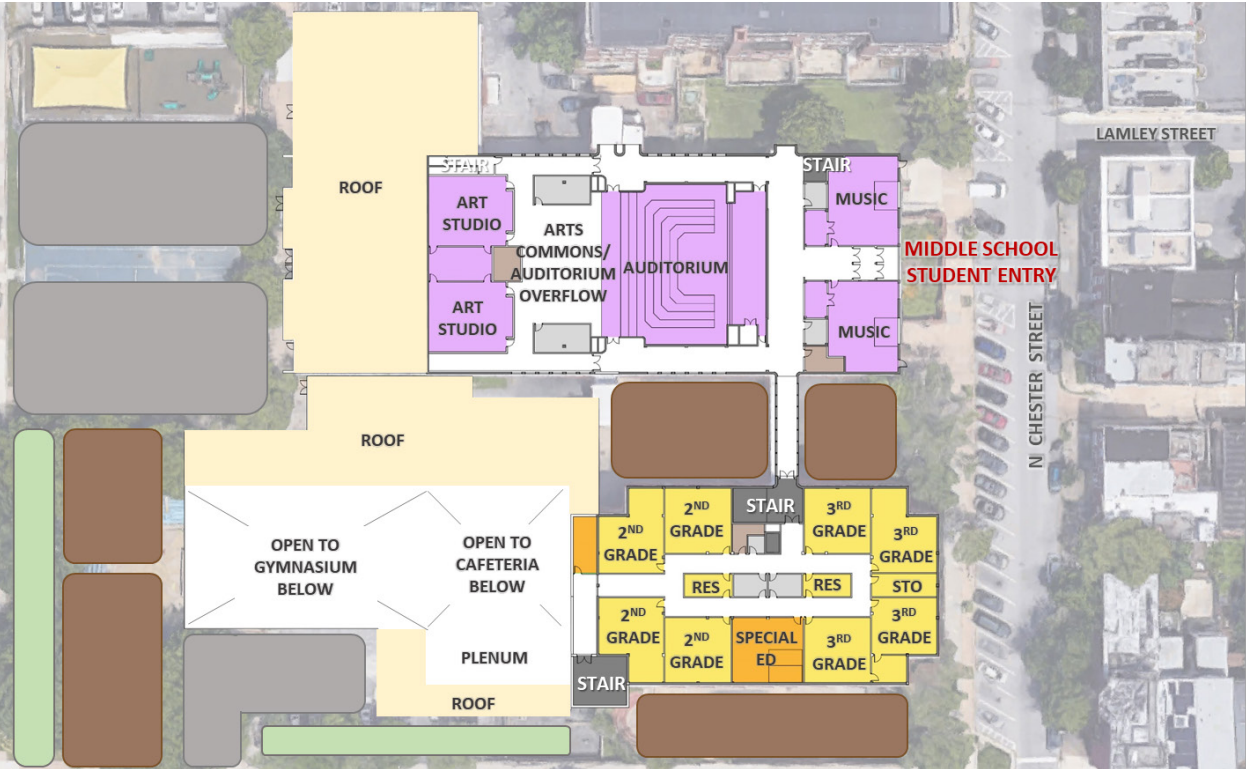


Proposed Site Plan Diagram - Option 02

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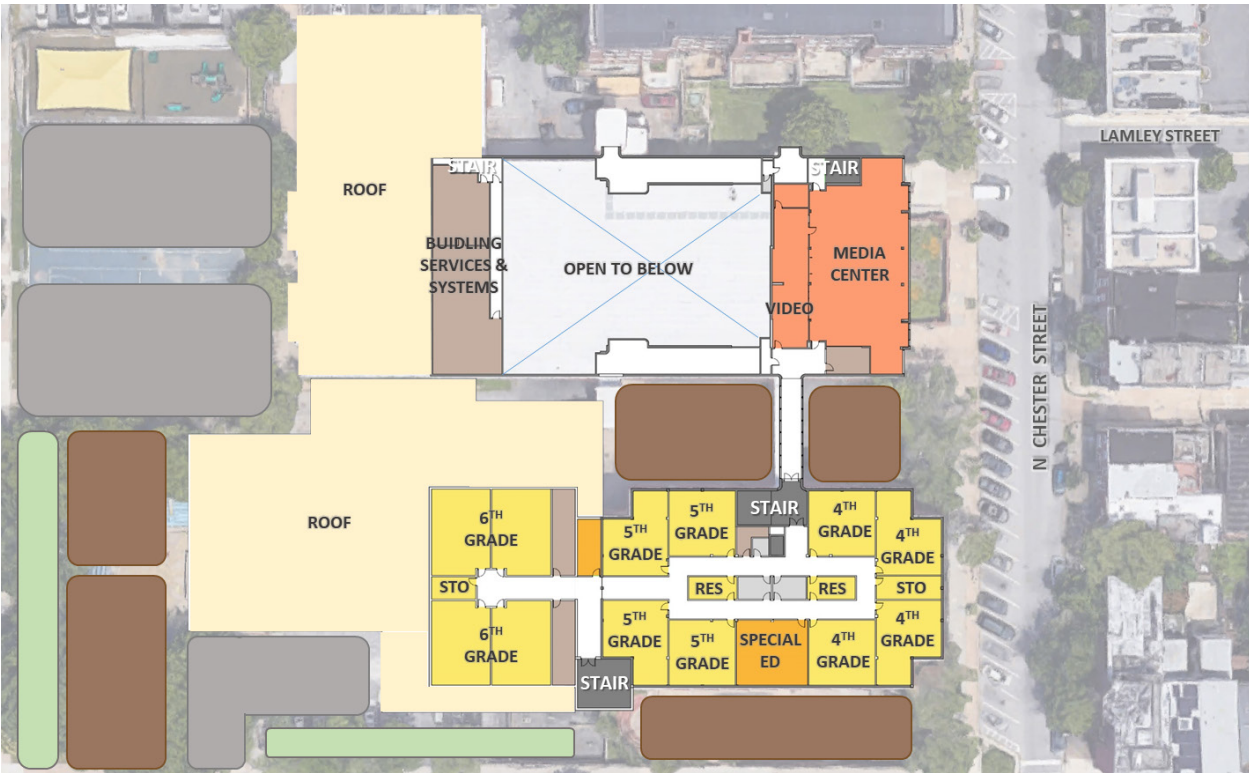
Proposed Ground Floor Plan Diagram - Option 02



Proposed First Floor Plan Diagram - Option 02



DETAILED DESCRIPTION OF OPTIONS



Proposed Second Floor Plan Diagram - Option 02



Proposed Third Floor Plan Diagram - Option 02



## COMMODORE JOHN RODGERS

### OPTION 03: MAJOR RENOVATION & PARTIAL REPLACEMENT SCHOOL

This option includes the extensive renovation scope for Building A, addressing the upgrades and the Major Renovation of Option 02. Building B would be demolished and a four-story addition would be constructed in its place and connected to Building A at all levels. The addition is similar to, but more extensive than, the addition in Option 02.

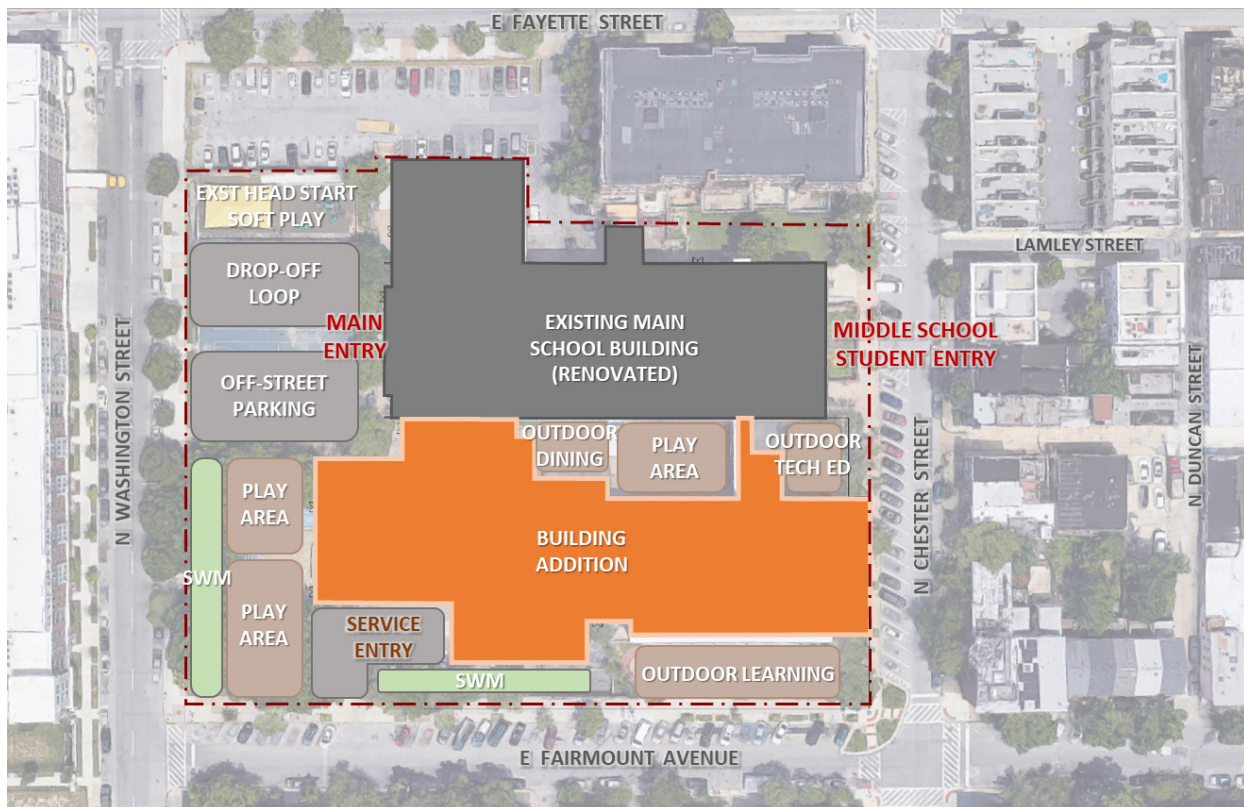
**Advantages:** Nearly all spaces meet program requirements; Minimizes impact to site; Improved student circulation within the building; Improves classrooms spaces by replacing difficult-to-renovate existing Classroom Wing; Relocates Service Entry so it is accessed from City School's property ONLY.

**Disadvantages:** Replaces structurally sound existing building; Building addition limits amount of useable site for parking and activity; Building significantly oversized.

#### OPTION 03 AREA SUMMARY

Existing Building: 106,055 GSF  
City Schools Ed Spec: 120,315 GSF (Original 2020 version)

Building Demolition: 47,075 GSF  
Interior Renovation: 58,980 GSF  
Building Addition: 70,965 GSF  
Total Project: 129,945 GSF

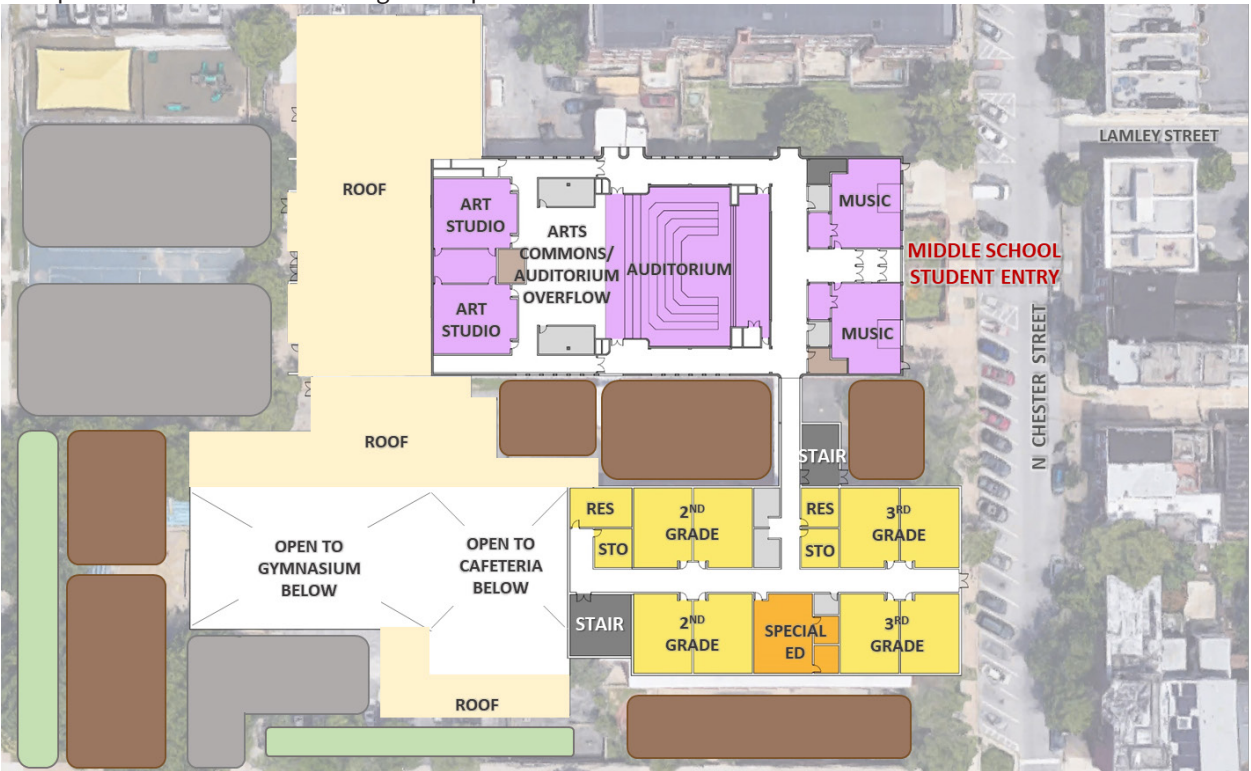


Proposed Site Plan Diagram - Option 03

DETAILED DESCRIPTION OF OPTIONS



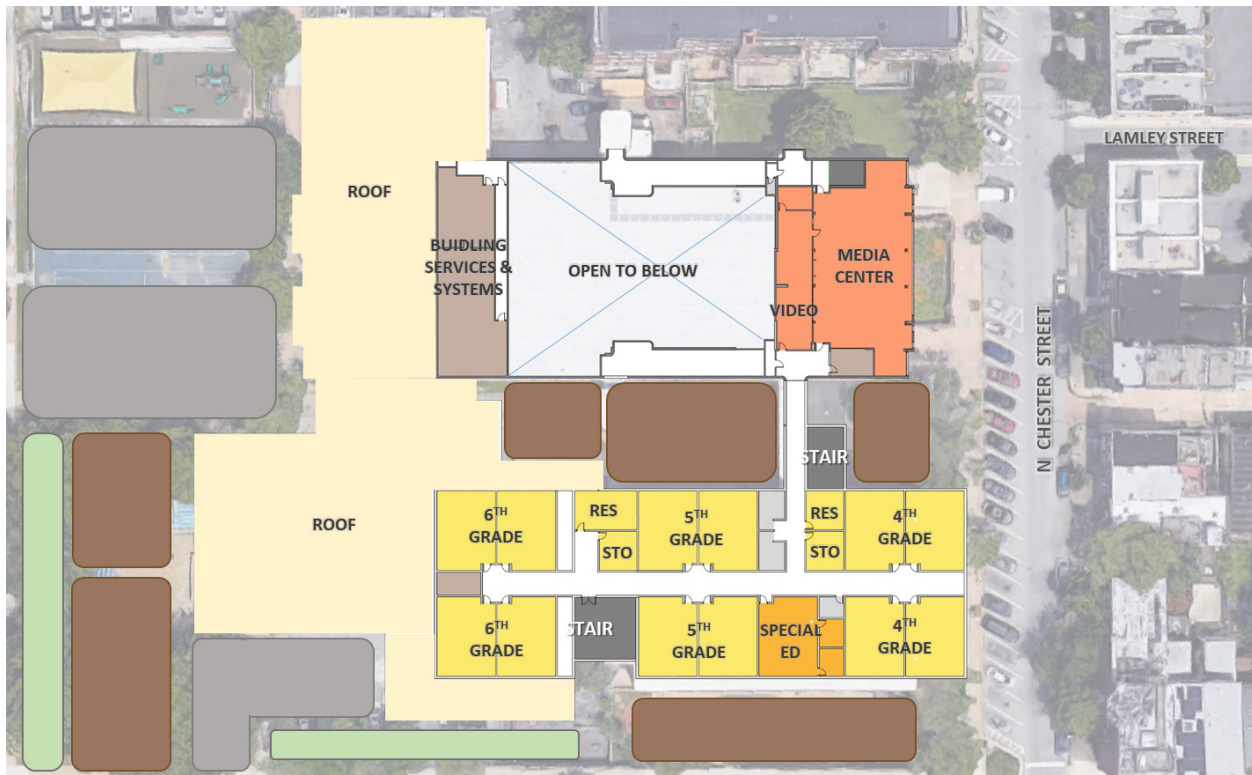
Proposed Ground Floor Plan Diagram - Option 03



Proposed First Floor Plan Diagram - Option 03



COMMODORE JOHN RODGERS



Proposed Second Floor Plan Diagram - Option 03



Proposed Third Floor Plan Diagram - Option 03

## DETAILED DESCRIPTION OF OPTIONS

### OPTION 04: REPLACEMENT SCHOOL

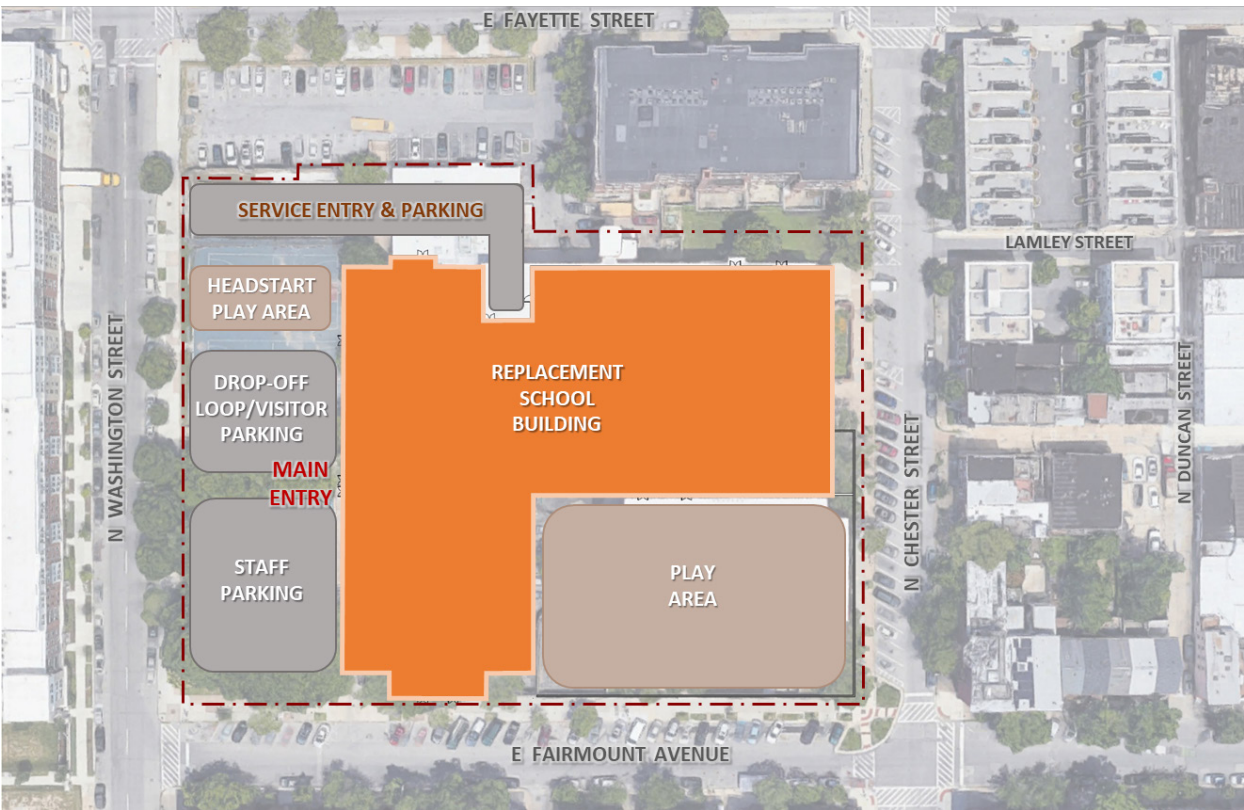
This option includes full demolition of both Buildings A and B and construction of a replacement building on the site.

**Advantages:** Nearly all spaces meet program requirements; Core Learning Classrooms are identical size and configuration; Provides properly-sized Gymnasium with access to Outdoor Play; Gymnasium and Cafeteria easily accessed from Community Spaces; Music Classrooms adjacent to Auditorium/Stage; Locates Main Entry on prominent street with drop-off; Clean and direct paths of student circulation; Maximizes redevelopment of existing site.

**Disadvantages:** Replaces structurally sound existing building.

#### OPTION 04 AREA SUMMARY

Existing Building:	106,055 GSF
City Schools Ed Spec:	112,308 GSF ( <i>Reduced 2020 version</i> )
Building Demolition:	106,055 GSF
Building Replacement:	117,145 GSF
Total Project:	117,145 GSF



Proposed Site Plan Diagram - Option 04



COMMODORE JOHN RODGERS



Proposed Ground Floor Plan Diagram - Option 04



Proposed First Floor Plan Diagram - Option 04

DETAILED DESCRIPTION OF OPTIONS



Proposed Second Floor Plan Diagram - Option 04



Proposed Third Floor Plan Diagram - Option 04

**COMMODORE JOHN RODGERS**

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## APPENDIX 1 - OPTION 04 SPACE ANALYSIS

PROGRAM SPACES	City School's Ed Spec			Study Option 04		
	QTY	NSF/ Space	Total	QTY	NSF/ Space	Total
<b>01 ADMINISTRATION</b>						
<b>01.01 Main Office</b>						
General Reception	1	500	500	1	570	570
Conference	1	250	250	1	250	250
Workroom	1	200	200	1	250	250
Storage	1	150	150	1	120	120
Secure Storage	1	75	75	1	85	85
Principal	1	250	250	1	265	265
Assistant Principal	2	100	200	2	95	190
Flex Office	2	100	200	2	95	190
Coat Closet	1	20	20	1	45	45
<b>SUBTOTAL</b>			<b>1,845</b>			<b>1,965</b>
<b>02 STUDENT SERVICES</b>						
<b>02.01 Guidance</b>						
Office	2	100	200			
Waiting/Reception	1	150	150			
Conference	1	250	250			
Guidance Suite				1	240	240
				1	390	390
<b>SUBTOTAL</b>			<b>600</b>			<b>630</b>
<b>02.02 Health Suite</b>						
Waiting Area	1	100	100			
Exam Room/Treatment	2	100	200			
Student Rest Area	2	150	300			
Office	1	150	150			
Storage	1	40	40			
Student Toilet	1	100	100			
Health Suite				1	880	880
<b>SUBTOTAL</b>			<b>890</b>			<b>880</b>
<b>02.03 Support Services</b>						
Psychologist/Social Worker Office	1	150	150	1	145	145
Speech Office	1	150	150	1	145	145
<b>SUBTOTAL</b>			<b>300</b>			<b>290</b>

**COMMODORE JOHN RODGERS**

PROGRAM SPACES	City School's Ed Spec			Study Option 04		
	QTY	NSF/ Space	Total	QTY	NSF/ Space	Total
<b>03 TEACHING AND LEARNING</b>						
<b>03.01 Classrooms</b>						
Pre-Kindergarten	4	950	3,800	4	970	3,880
Kindergarten	4	950	3,800	4	970	3,880
Pre-K/Kindergarten Toilets	8	50	400	8	60	480
Grades 1-2	8	850	6,800	8	765	6,120
Grades 3-5	12	850	10,200	12	765	9,180
Grades 6-8	12	850	10,200	12	765	9,180
SUBTOTAL			35,200			32,720
<b>03.02 Shared Spaces</b>						
Resource	6	250	1,500	6	210	1,260
Teacher Planning	2	800	1,600	2	880	1,760
Storage	6	200	1,200	6	210	1,260
				1	280	280
SUBTOTAL			4,300			4,560
<b>04 Special Education</b>						
<b>04.01 General</b>						
Classroom	2	850	1,700	2	765	1,530
Office	1	100	100	1	110	110
Records Storage	1	100	100	1	110	110
SUBTOTAL			1,900			1,750
<b>04.02 Resource</b>						
OT/PT	1	150	150	1	225	225
SUBTOTAL			150			225
<b>05 Sciences</b>						
<b>05.02 Middle School Science</b>						
Laboratory	4	1,000	4,000	4	855	3,420
Prep/Storage	4	150	600	4	100	400
SUBTOTAL			4,600			3,820
<b>06 Fine Arts</b>						
<b>06.01 Visual Arts</b>						
Studio	2	1,000	2,000	2	930	1,860

## APPENDIX 1 - OPTION 04 SPACE ANALYSIS

PROGRAM SPACES	City School's Ed Spec			Study Option 04		
	QTY	NSF/ Space	Total	QTY	NSF/ Space	Total
Storage/Kiln	2	200	400	2	265	530
SUBTOTAL			2,400			2,390
<b>06.02 Music</b>						
Large Rehearsal	1	1,200	1,200	1	1,160	1,160
Small Rehearsal	1	850	850	1	850	850
Storage	2	150	300	1	135	135
				1	210	210
SUBTOTAL			2,350			2,355
<b>08 Technology Education</b>						
<b>08.01 Technology Education</b>						
Laboratory	1	900	900	1	870	870
Storage	1	100	100	1	100	100
SUBTOTAL			1,000			970
<b>09 Physical Education</b>						
<b>09.01 Physical Education</b>						
Gymnasium	1	6,500	6,500	1	6,500	6,500
Office	1	150	150	1	175	175
Gym Storage	1	400	400	1	370	370
Lockers/Changing Rooms	2	200	400	2	250	500
Student Showers/Toilet	4	100	400	4	100	400
Fitness Studio	1	800	800	1	805	805
SUBTOTAL			8,650			8,750
<b>10 Media</b>						
<b>10.01 Media Center</b>						
Media Room	1	2,400	2,400	1	2,010	2,010
Workroom	1	250	250	1	335	335
Storage	1	300	300	1	340	340
Head End Room (Server)	1	150	150	1	190	190
SUBTOTAL			3,100			2,875
<b>10.02 Communications/TV</b>						
Video Studio	1	700	700	1	930	930
SUBTOTAL			700			930

**COMMODORE JOHN RODGERS**

PROGRAM SPACES	City School's Ed Spec			Study Option 04		
	QTY	NSF/ Space	Total	QTY	NSF/ Space	Total
<b>11 Food Services</b>						
<b>11.01 Dining</b>						
Cafetorium	1	3,500	3,500	1	3,510	3,510
Furniture Storage	1	250	250	1	350	350
Stage	1	900	900	1	1,170	1,170
Stage Storage	1	150	150	1	225	225
SUBTOTAL			4,800			5,255
<b>11.02 Food Service</b>						
Kitchen	1	900	900			
Serving	2	225	450			
Office	1	80	80			
Walk-In Freezer	1	175	175			
Walk-In Chiller	1	175	175			
Dry Storage	1	200	200			
Dish Room/Tray Return	1	200	200			
Soap Storage	1	30	30			
Can Wash	1	50	50			
Locker/Toilet	1	100	100			
Food Service Area				1	2,435	2,435
SUBTOTAL			2,360			2,435
<b>12 Building Services</b>						
<b>12.01 Maintenance/ &amp; Operations</b>						
Receiving	1	250	250			
Operations Office	1	100	100			
Central Storage	1	250	250			
Lockers/Shower/Toilets	1	120	120			
Recycling	1	250	250			
Maintenance & Operations Area				1	950	950
Security Office	1	100	100	1	100	100
Custodial Closets	5	60	300	2	60	120
				1	95	95
				3	120	360

## APPENDIX 1 - OPTION 04 SPACE ANALYSIS

PROGRAM SPACES	City School's Ed Spec			Study Option 04		
	QTY	NSF/ Space	Total	QTY	NSF/ Space	Total
Outdoor Storage	1	100	100	1	465	465
<b>SUBTOTAL</b>			<b>1,490</b>			<b>2,090</b>
<b>12.02 Toilet</b>						
Staff Toilets	8	50	400	9	55	495
<b>SUBTOTAL</b>			<b>400</b>			<b>495</b>
<b>13 Community Space</b>						
<b>13.01 Family Resource Suite</b>						
Community Schools Coordinator	1	200	200	1	150	150
<b>SUBTOTAL</b>			<b>200</b>			<b>150</b>
<b>13.03 Service</b>						
Pantry	1	150	150	1	135	135
Personal Care	1	100	100	1	100	100
Laundry	1	100	100	1	100	100
<b>SUBTOTAL</b>			<b>350</b>			<b>335</b>
<b>13.04 Judy Center</b>						
Judy Center Coordinator Office	1	100	100	1	150	150
Judy Center Family Services Office	1	100	100	1	150	150
Judy Center Administrative Assistant & Reception	1	250	250	1	360	360
Judy Center Mental Health Consultant Office	1	100	100	1	150	150
Judy Center Multi-Purpose Room	1	375	375	1	315	315
<b>SUBTOTAL</b>			<b>925</b>			<b>1,125</b>
<b>13.05 Early Childhood Development Center</b>						
Headstart Classroom	2	950	1,900	2	950	1,900
Toilet	2	50	100	2	65	130
Headstart Office	1	100	100	1	125	125
<b>SUBTOTAL</b>			<b>2,100</b>			<b>2,155</b>
<b>SUMMARY</b>						
<b>TOTAL NET ASSIGNABLE SQUARE FEET</b>			<b>80,220</b>			<b>78,655</b>
<b>TOTAL GROSS SQUARE FEET</b>			<b>112,308</b>			<b>117,145</b>
<i>Building Efficiency</i>			<i>71.5%</i>			<i>67.2%</i>

**COMMODORE JOHN RODGERS**

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## **APPENDIX 2 - COST ESTIMATES**

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The estimates on the following pages have been prepared using recent Bid Results for projects of similar size and scope. These projects were procured using the Consturciton Manager-advisor delivery mthod. Recent experience has shown an approximate increase of 20% in construction costs for this delivery method when compared to Construction Manager-At Risk method. Therefore a Procurement Modifier has been included.

A 15% Design Contingency has bene applied to the subtotal after the Procurement Modifier.

Year escalation has been calculated to the midpoint of construction and takes into consideration the anticipated design phase duration of 12 months.

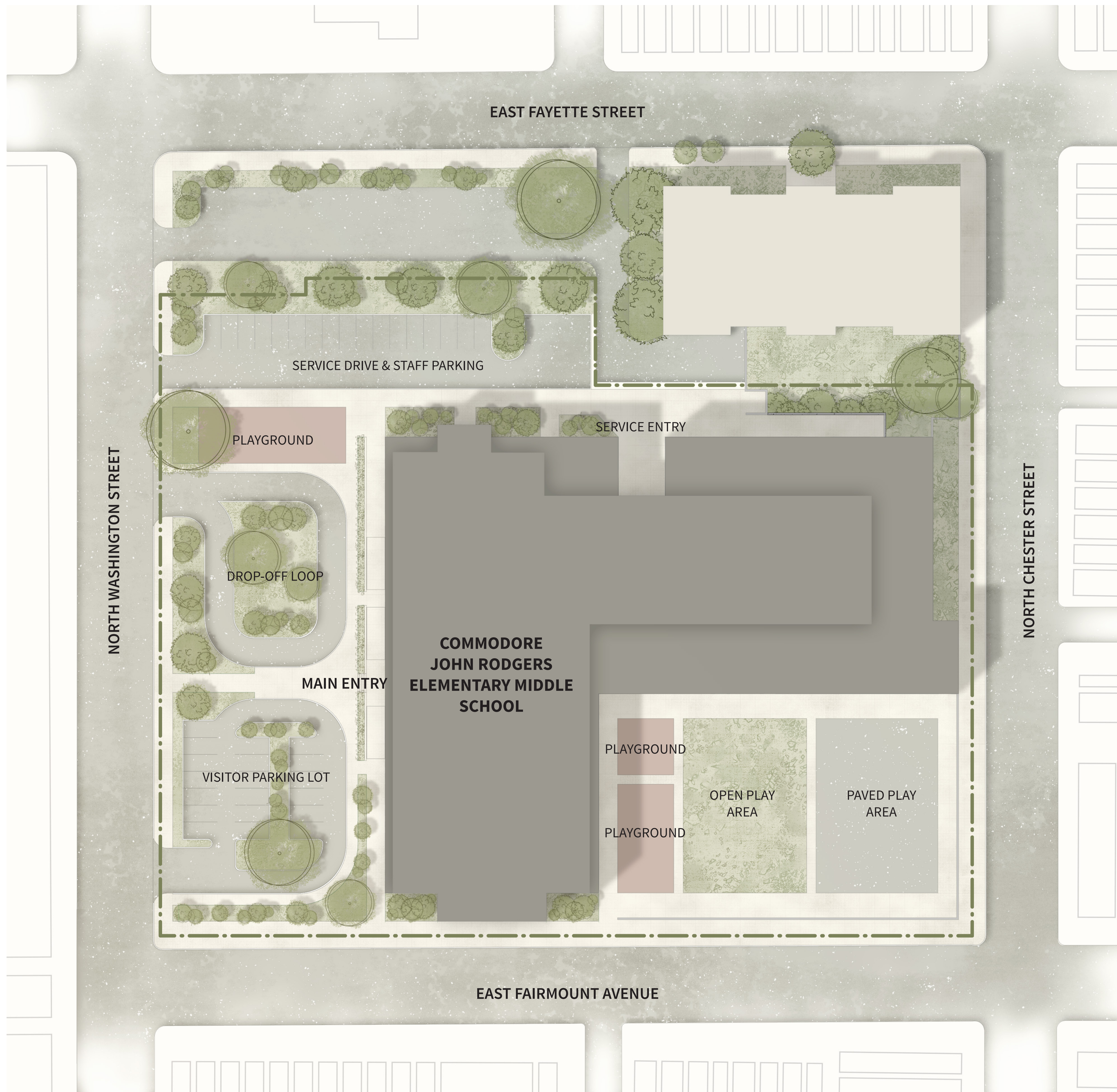
OPTION 01 - STRATEGIC RENOVATION & ADDITION (14 Month Duration)			
CONSTRUCTION ACTIVITY	Area	Unit Cost	Cost
SITE			
Site Redevelopment	1 acre	\$450,000/A	\$450,000.00
Building Demolition	0 GSF	\$25.00/GSF	\$0.00
MINOR RENOVATION - SELECTIVE INTERIOR DEMOLITION & CONSTRUCTION			
Architecture/Structure	106,055 GSF	\$55.85/GSF	\$5,922,953.97
Building Systems	106,055 GSF	\$136.01/GSF	\$14,424,519.75
MAJOR RENOVATION - INTENSIVE INTERIOR DEMOLITION & CONSTRUCTION			
Architecture/Structure	0 GSF	\$138.91/GSF	\$0.00
Building Systems	0 GSF	\$136.01/GSF	\$0.00
BUILDING ADDITION			
Architecture/Structure	50,000 GSF	\$201.99/GSF	\$10,099,509.80
Building Systems	50,000 GSF	\$136.01/GSF	\$6,800,490.20
SUBTOTAL 01			\$37,697,473.73
Procurement Modifier			80%
SUBTOTAL 02			\$30,145,978.98
Design Contingency			15%
SUBTOTAL 03			\$34,681,675.83
STATEMENT OF PROBABLE CONSTRUCTION COST			
Construction Activities			\$34,671,675.83
Escalation (~3% Yearly to Midpoint of Construction)			
TOTAL PROBABLE CONSTRUCTION COST			\$37,289,995.30

OPTION 02 - MAJOR RENOVATION & ADDITION (14 Month Duration)			
CONSTRUCTION ACTIVITY	Area	Unit Cost	Cost
SITE			
Site Redevelopment	1 acre	\$450,000/A	\$450,000.00
Building Demolition	0 GSF	\$25.00/GSF	\$0.00
MINOR RENOVATION - SELECTIVE INTERIOR DEMOLITION & CONSTRUCTION			
Architecture/Structure	16,835 GSF	\$55.85/GSF	\$940,200.18
Building Systems	16,835 GSF	\$136.01/GSF	\$2,289,725.05
MAJOR RENOVATION - INTENSIVE INTERIOR DEMOLITION & CONSTRUCTION			
Architecture/Structure	89,220 GSF	\$138.91/GSF	\$12,393,963.59
Building Systems	89,220 GSF	\$136.01/GSF	\$12,134,794.71
BUILDING ADDITION			
Architecture/Structure	35,600 GSF	\$201.99/GSF	\$7,190,850.98
Building Systems	35,600 GSF	\$136.01/GSF	\$4,841,949.02
SUBTOTAL 01			\$40,241,483.82
Procurement Modifier			80%
SUBTOTAL 02			\$32,193,186.82
Design Contingency			15%
SUBTOTAL 03			\$37,022,164.84
STATEMENT OF PROBABLE CONSTRUCTION COST			
Construction Activities			\$37,022,164.84
Escalation (~3% Yearly to Midpoint of Construction)			
TOTAL PROBABLE CONSTRUCTION COST			\$39,806,506.45

OPTION 03 - MAJOR RENOVATION & PARTIAL REPLACEMENT (18 Month Duration)			
CONSTRUCTION ACTIVITY	Area	Unit Cost	Cost
SITE			
Site Redevelopment	1.5 acre	\$450,000/A	\$675,000.00
Building Demolition	47,075 GSF	\$25.00/GSF	\$1,176,875.00
MINOR RENOVATION - SELECTIVE INTERIOR DEMOLITION & CONSTRUCTION			
Architecture/Structure	16,835 GSF	\$55.85/GSF	\$940,200.18
Building Systems	16,835 GSF	\$136.01/GSF	\$2,289,725.05
MAJOR RENOVATION - INTENSIVE INTERIOR DEMOLITION & CONSTRUCTION			
Architecture/Structure	42,095 GSF	\$138.91/GSF	\$5,847,611.49
Building Systems	42,095 GSF	\$136.01/GSF	\$5,725,332.70
BUILDING ADDITION			
Architecture/Structure	70,965 GSF	\$201.99/GSF	\$14,334,234.26
Building Systems	70,965 GSF	\$136.01/GSF	\$9,651,935.74
SUBTOTAL 01			\$40,640,914.42
Procurement Modifier			80%
SUBTOTAL 02			\$32,512,731.53
Design Contingency			15%
SUBTOTAL 03			\$37,389,641.26
STATEMENT OF PROBABLE CONSTRUCTION COST			
Construction Activities			\$37,389,641.26
Escalation (~3% Yearly to Midpoint of Construction)			
TOTAL PROBABLE CONSTRUCTION COST			\$40,804,644.13

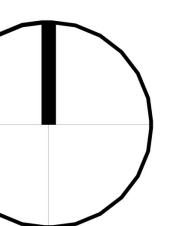
OPTION 04 - REPLACEMENT SCHOOL (24 Month Duration)			
CONSTRUCTION ACTIVITY	Area	Unit Cost	Cost
SITE			
Site Redevelopment	3 acre	\$450,000/A	\$1,350,000.00
Building Demolition	106,055 GSF	\$25.00/GSF	\$2,651,375
MINOR RENOVATION - SELECTIVE INTERIOR DEMOLITION & CONSTRUCTION			
Architecture/Structure	0 GSF	\$55.85/GSF	\$0.00
Building Systems	0 GSF	\$136.01/GSF	\$0.00
MAJOR RENOVATION - INTENSIVE INTERIOR DEMOLITION & CONSTRUCTION			
Architecture/Structure	0 GSF	\$138.91/GSF	\$0.00
Building Systems	0 GSF	\$136.01/GSF	\$0.00
BUILDING ADDITION			
Architecture/Structure	117,145 GSF	\$201.99/GSF	\$23,662,118.55
Building Systems	117,145 GSF	\$136.01/GSF	\$15,932,891.45
SUBTOTAL 01			\$43,596,385.00
Procurement Modifier			80%
SUBTOTAL 02			\$34,877,108.00
Design Contingency			15%
SUBTOTAL 03			\$40,108,674.20
STATEMENT OF PROBABLE CONSTRUCTION COST			
Construction Activities			\$40,108,674.20
Escalation (~3% Yearly to Midpoint of Construction)			
TOTAL PROBABLE CONSTRUCTION COST			\$43,772,021.39





SITE PLAN

NOT TO SCALE



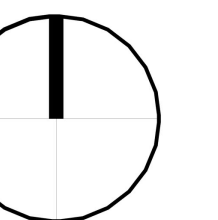


- ADMINISTRATION
- HEALTH
- CORE LEARNING SPACES
- SPECIAL EDUCATION SPACES
- SCIENCE
- THE ARTS
- TECHNICAL EDUCATION
- PHYSICAL EDUCATION
- MEDIA CENTER
- FOOD SERVICE
- COMMUNITY SPACES
- BUILDING SERVICES/OPS & MAINTENANCE
- TOILET ROOMS
- VERTICAL CIRCULATION



GROUND FLOOR PLAN

10'-8" 0 10'-8" 21'-4"  
SCALE OF FEET  
3/32" = 1'-0"





- ADMINISTRATION
- HEALTH
- CORE LEARNING SPACES
- SPECIAL EDUCATION SPACES
- SCIENCE
- THE ARTS
- TECHNICAL EDUCATION
- PHYSICAL EDUCATION
- MEDIA CENTER
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- BUILDING SERVICES/OPS & MAINTENANCE
- TOILET ROOMS
- VERTICAL CIRCULATION



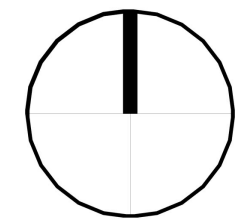
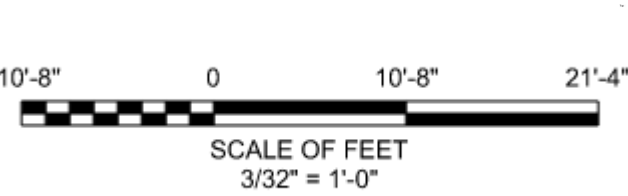
FIRST FLOOR PLAN



- ADMINISTRATION
- HEALTH
- CORE LEARNING SPACES
- SPECIAL EDUCATION SPACES
- SCIENCE
- THE ARTS
- TECHNICAL EDUCATION
- PHYSICAL EDUCATION
- MEDIA CENTER
- FOOD SERVICE
- COMMUNITY SPACES
- BUILDING SERVICES/OPS & MAINTENANCE
- TOILET ROOMS
- VERTICAL CIRCULATION



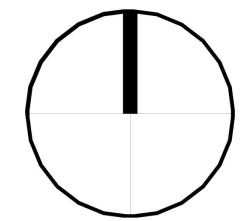
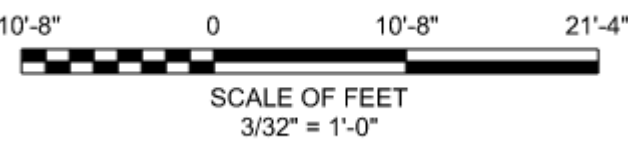
SECOND FLOOR PLAN



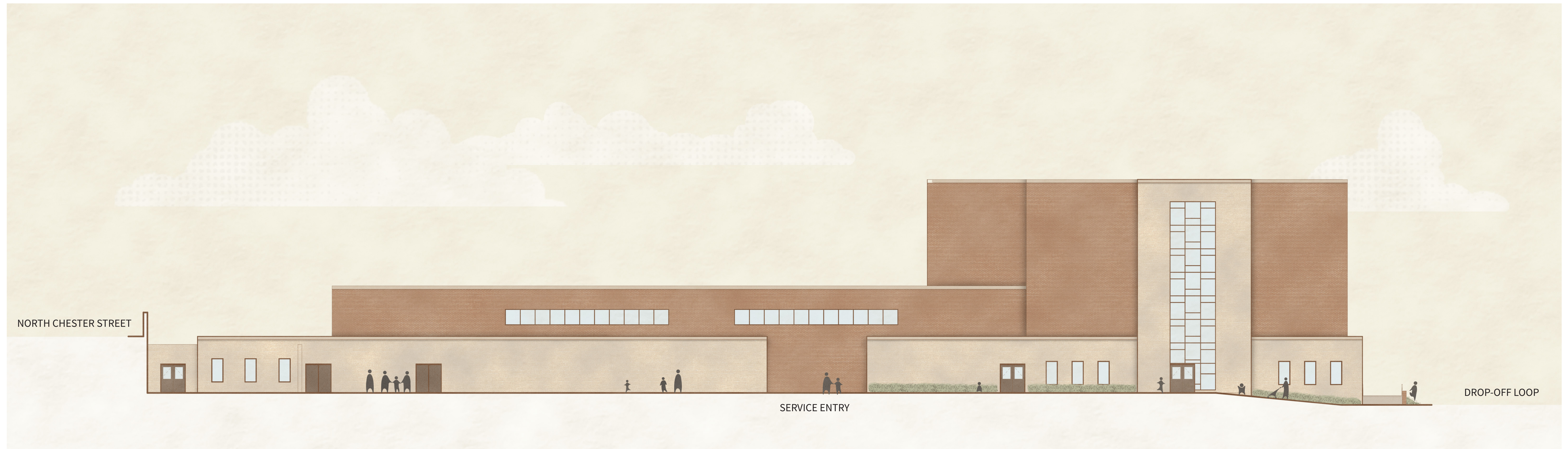
- ADMINISTRATION
- HEALTH
- CORE LEARNING SPACES
- SPECIAL EDUCATION SPACES
- SCIENCE
- THE ARTS
- TECHNICAL EDUCATION
- PHYSICAL EDUCATION
- MEDIA CENTER
- FOOD SERVICE
- COMMUNITY SPACES
- BUILDING SERVICES/OPS & MAINTENANCE
- TOILET ROOMS
- VERTICAL CIRCULATION



THIRD FLOOR PLAN







**BUILDING ELEVATION - NORTH**



**BUILDING ELEVATION - WEST**





**BUILDING ELEVATION - SOUTH**



**BUILDING ELEVATION - EAST**



**Item 8. Amendment to Cecil County Public School's FY 2021 and FY 2022 Capital Improvement Program (CIP)**

---

**Motion:**

To approve the cancellation of Cecil County Public School's (CCPS) FY 2021/FY 2022 Cecil Manor HVAC Project (PSC# 07.030.21/22SR) and transfer the State's allocation totaling \$1,597,000 to the LEAs Reserved Prior Year Appropriations Account.

**Background Information:**

On April 13, 2022, CCPS informed IAC staff that the bids for the Cecil Manor Elementary School HVAC replacement project had come in 30% higher than their estimated budget. Due to the bidding climate and timing on when the budget was established, the LEA was forced to reject all the bids due to local fiscal constraints. The LEA intends to resubmit the project with an adjusted cost as part of their FY 2024 Capital Improvement Program submission. IAC staff recommend approval.



*Serving Learners, Families, and the Community*

## CECIL COUNTY PUBLIC SCHOOLS DIVISION OF ADMINISTRATIVE SERVICES

GEORGE WASHINGTON CARVER EDUCATION LEADERSHIP CENTER  
201 BOOTH STREET • ELKTON, MD 21921

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phone: 410.996.5034 • fax: 410.996.5137 • [www.ccps.org](http://www.ccps.org)

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Jeffrey A. Lawson, Ed.D.  
*Superintendent of Schools*

Diana B. Hawley  
*President, Board of Education*

April 12, 2022

Mr. Robert Gorrell  
Executive Director  
Interagency Commission on School Construction  
200 W. Baltimore Street  
Baltimore, MD 21201

RE: Request the Cancelation of Systemic HVAC Project at Cecil Manor Elementary School

Dear Mr. Gorrell:

Cecil County Public Schools requested a systemic replacement project in the FY21 CIP to upgrade the HVAC system at Cecil Manor Elementary School. We received only partial funding that year and we were unable to bid the project due to lack of total funds. We then requested and were approved the balance of the funds in the FY22 CIP.

We bid the project this past March. Unfortunately, due to current bidding climate and the age of the budget and funding for the project, the lowest potential bid was over budget by 30%. We are unable to fund the overage locally were forced to reject all bids.

Cecil County Public Schools respectfully requests the cancelation of this project. We intend to resubmit and include it within our FY24 CIP submission with an adjusted cost estimate.

Sincerely,

Charles C. Simpers, MBA  
Supervisor of School Construction

Cc: Mr. Perry Willis, Executive Director of Support Services

**Item 9.        Montgomery County Public Schools - Built to Learn Poolesville High School Project Revision**

---

**Motion:**

To approve the revisions to a previously approved project as presented to be funded and executed through the Built to Learn Act. The total revised allocation increases the project by \$20,227,000. Final funding amounts are subject to adjustment based upon finalization of project worksheets and review of project eligibility.

**Background Information:**

**Revisions to Previous Approvals:**

The IAC approved the Poolesville High School Addition/Renovation project on February 10, 2022, based on the Local Education Agencies (LEA) original CIP submission. The LEA submitted a revised BTL budget based prevailing wage rates that also included an update to the amount of funding requested. IAC staff reviewed and verified the new budget and recommends approval of the requested revision to the BTL allocation.

LEA	Project	Funding Source	Previously Approved BTL Allocation	Revised BTL Allocation	Difference in Allocation
Montgomery	Poolesville HS	BTL	\$29,701,000	\$49,928,000	<b>\$20,227,000</b>



STATE OF MARYLAND - CAPITAL IMPROVEMENT PROGRAM / BUILT TO LEARN  
COMPUTATION SUPPLEMENTAL WORKSHEET  
For Estimating the State Allocation for FY 2023  
(Amounts rounded to the nearest 1,000)

PSC No.:	15.066							Priority #	23 (F)
Project Type:	Addition/Renovation	Poolesville High						BTL	X
GROSS AREA BASELINE in GSF		Educ. Type	Estimated Approved Projected Enrollment*	GSF per student**	Total GSF	Construction Cost	State Share		
		High	1,499 x	154.02 =	230,876		50%		
		CTE	120 x	55.98 =	6,718				
					237,594				
0%	GSF Above GAB				-				
ADDITION									
New GSF		150,125 x	358.00		53,745,000	26,873,000			
GSF Above GAB Per Statute			358.00		0	0			
Cooperative-Use Space (GSF)		x	358.00		0	0			
Site Development		x	19%		10,212,000	5,106,000			
Design Cost		x	10%		6,396,000	3,198,000			
Furniture and Fixtures		x	5%		3,198,000	1,599,000			
						73,551,000	36,776,000		
RENOVATION									
Age of Structure	Construction Year	GSF to be Renovated	GSF	Percentage to be Covered	Cost				
40 & older	1976	60,844 x	358.00 x	100% =	21,782,152				
31-39		0 x	358.00 x	85% =	0				
26-30		0 x	358.00 x	75% =	0				
21-25		0 x	358.00 x	65% =	0				
16-20		0 x	358.00 x	50% =	0				
0-15		0 x	358.00 x	0% =	0				
		60,844			21,782,152	21,782,000	10,891,000		
Cooperative-Use Space (GSF)		x	358.00		0	0	0		
Site Development			5%		1,089,000	545,000			
Design Cost			10%		2,287,000	1,144,000			
Furniture, Fixtures and Equipment			5%		1,144,000	572,000			
						26,302,000	13,152,000		
TOTAL COST						99,853,000	49,928,000		
Less Prior State Funds for Related Projects									
MAXIMUM STATE CONSTRUCTION ALLOCATION							49,928,000		
Less CIP Allocations for the Project									
ADJUSTED MAXIMUM STATE CONSTRUCTION ALLOCATION							0		
Less CIP Allocations for the Project									
BALANCE							49,928,000		
Additional Notes:						Date Planning Approved:	02/10/22		
The "Net State Funding" on this worksheet is an estimate of the maximum State allocation for this project, but may be reduced based on the costs of the approved contract(s), ineligible items, and change orders.						Date Revised:	05/12/22		
Project consists of an addition of 150,125 sf and renovation of 60,814 sf as well as demolition of 85,928 sf per CD submission. The existing facility is 169,389 per CD submission.						Date of State Approval:	05/12/22		

## Item 10. Public School Enrollment Projections

---

### **Motion:**

This item is informational and does not require IAC action.

### **Background Information:**

Enrollment projections are a critical consideration in capital school construction because enrollment projections represent the demand for school facilities in the future.

The attached presentation provides general information on the development and use of enrollment projections, as well as details on statewide public school enrollment projections for 2022-2031.

# PUBLIC SCHOOL ENROLLMENT PROJECTIONS 2022 - 2031

**Alfred Sundara, AICP**

Manager, Projections and State Data Center  
Maryland Department of Planning (MDP)

**Jamie Bridges, AICP**

Manager, Planning  
Interagency Commission on School Construction (IAC)

MAY 12, 2022



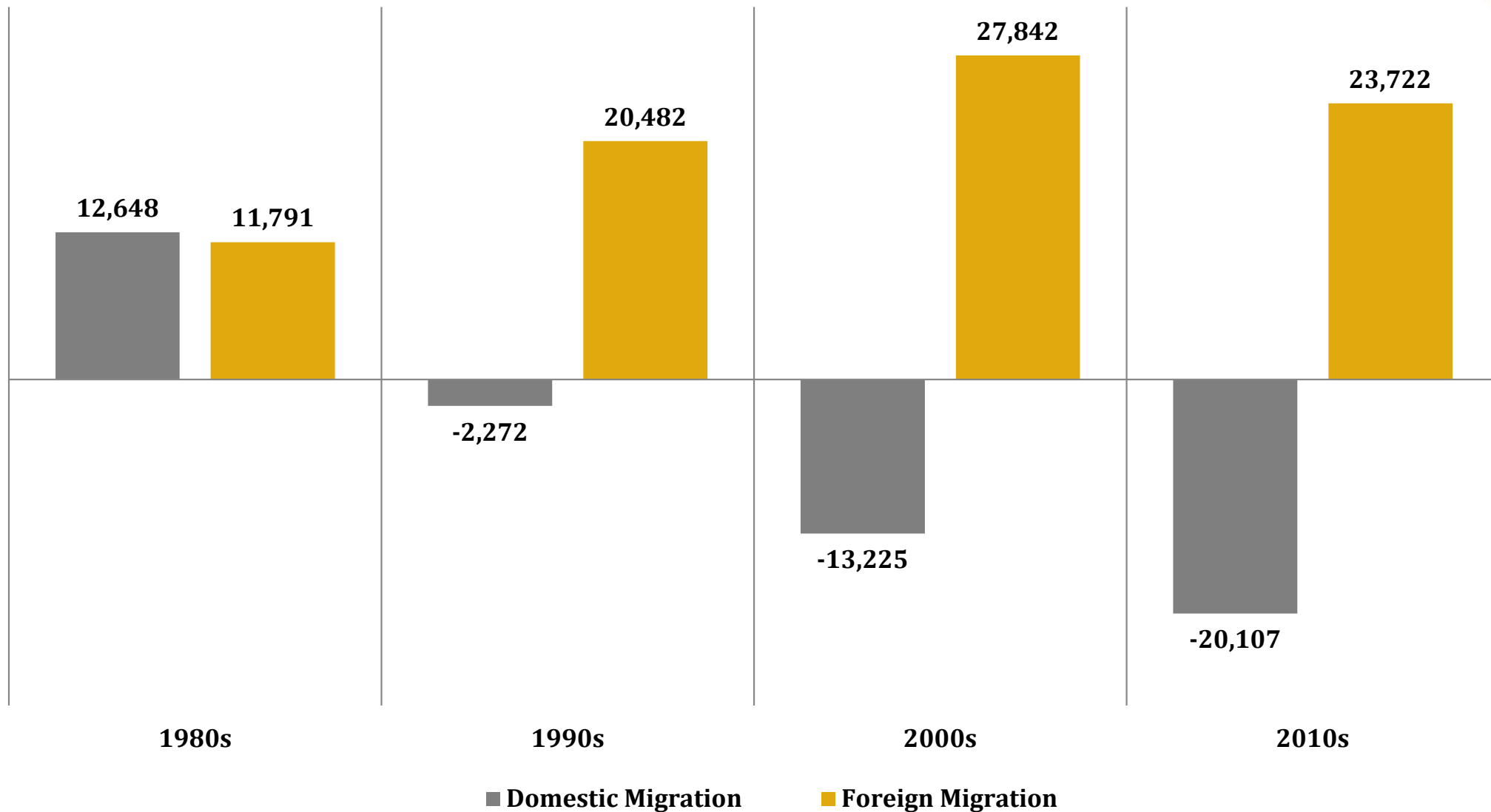
# ENROLLMENT PROJECTIONS - IN GENERAL

- Current Demand for Educational Facilities =
  - Current Enrollment +
  - Educational Programs and Services
- Future Demand for Educational Facilities =
  - Projected Enrollment +
  - Educational Program and Services
  - **Mission-Critical**
- Enrollment Projection Methods
  - Science
  - Art

# ENROLLMENT PROJECTIONS - IN MARYLAND

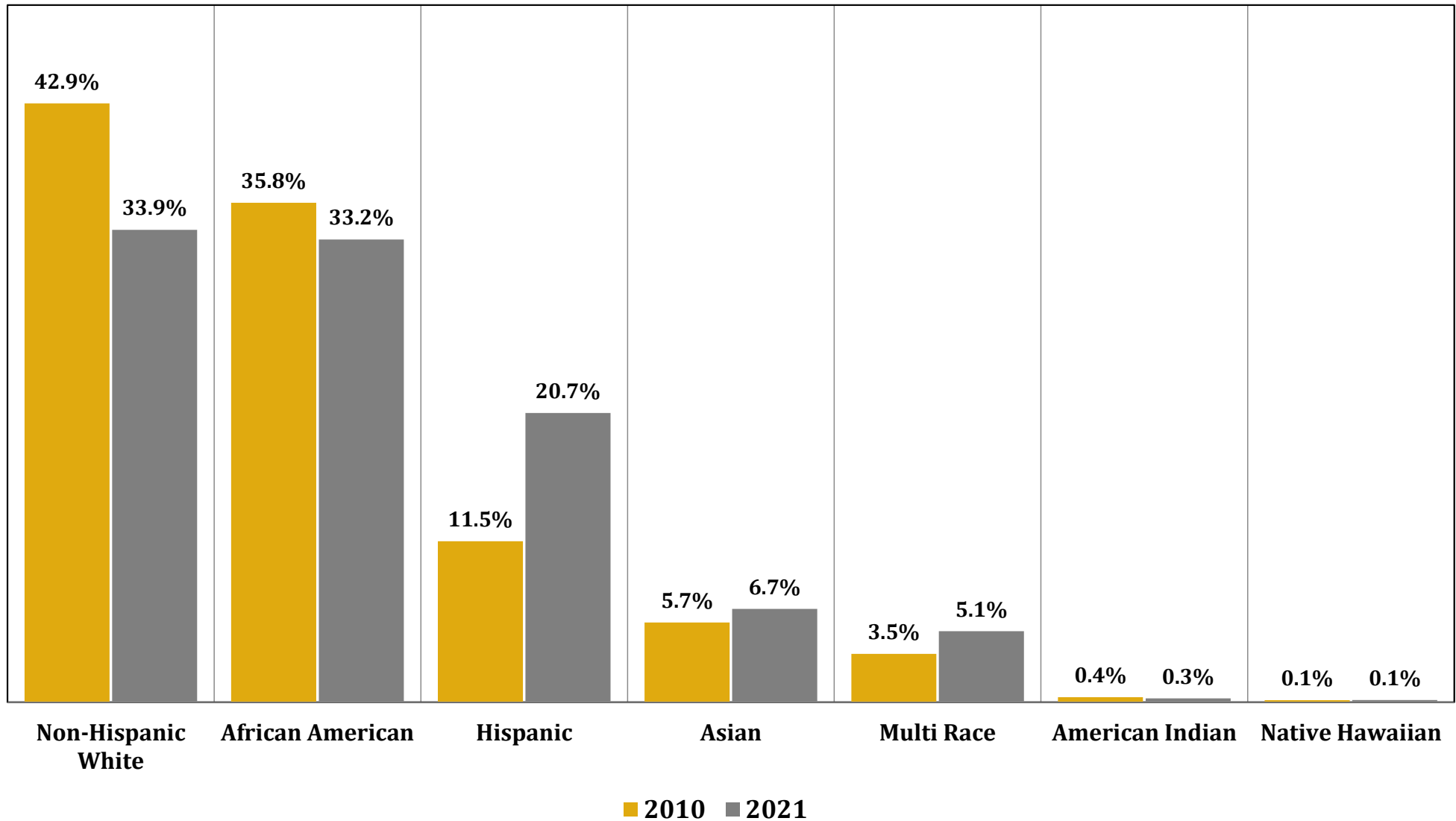
- Annual MDP Enrollment Projections
- Local Education Agencies (LEA) Projections ->
- LEA Educational Facilities Master Plan (EFMP) ->
- LEA Capital Improvement Plan (CIP) ->
- Capital Improvement Plan (CIP) and/or Built-to-Learn (BTL) Projects
- IAC Project Review must include:
  - 7-year Enrollment Projections for Applicable Schools
  - And others
- IAC Project Allocation must factor:
  - Approved, Projected 7-year Enrollment x
  - Gross Area Baseline (GAB) per student
  - And others
- Educationally Sufficient AND Fiscally Sustainable

## Average Annual Net Domestic Migration and Foreign Immigration into Maryland



Foreign immigration data is from the decennial census (1980s and 1990s) and from the American Community Survey (2000s and 2010s). Domestic migration is calculated as a residual for the 1980s, 1990s and 2000s; from 2010 forward this data has come from the Census Bureau's components of population change, part of the Annual Population Estimates for the April 1, 2010 to July 1, 2020 period.

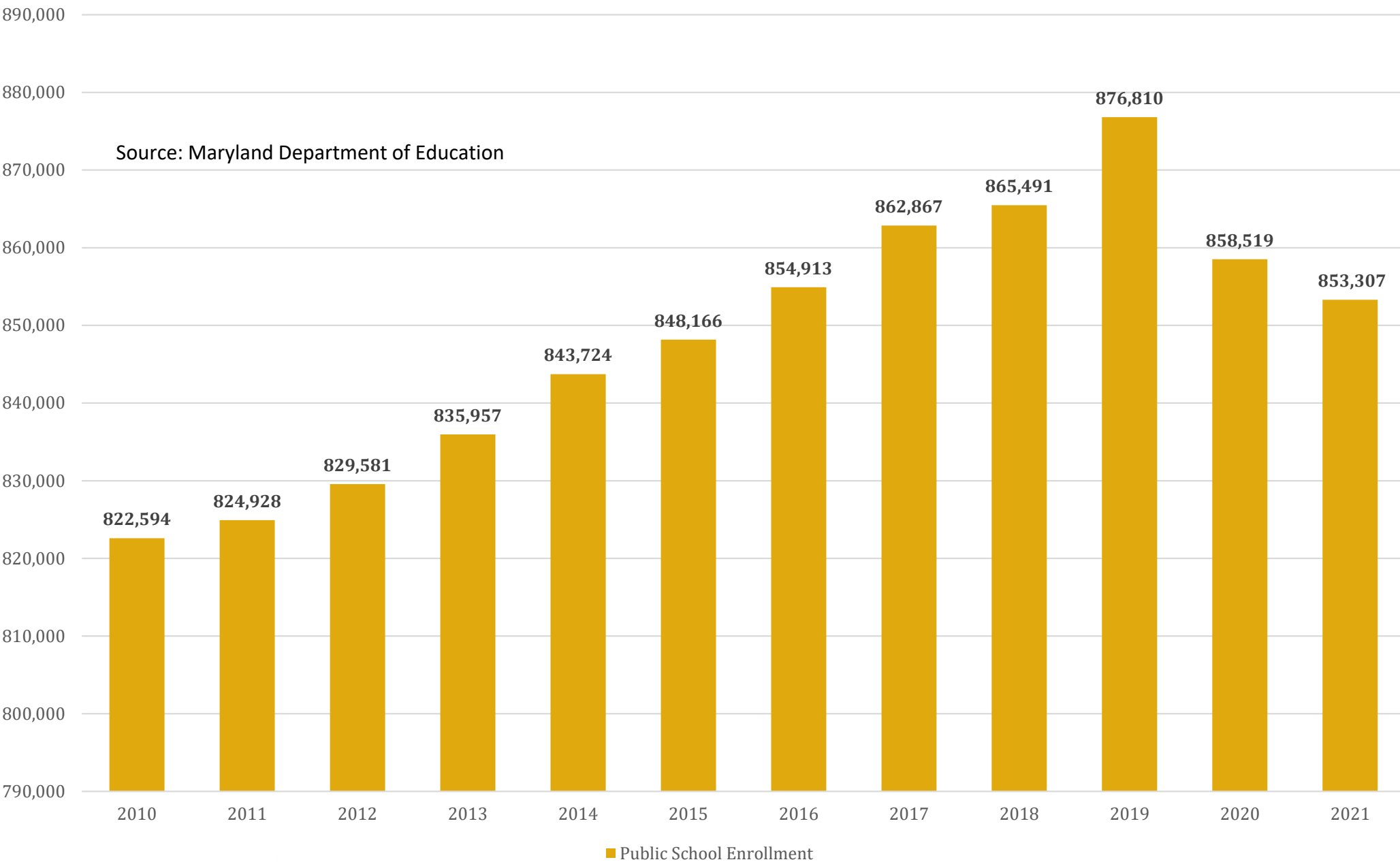
## Share of Total Public School Enrollment in Maryland by Race & Hispanic Origin, 2010 and 2021



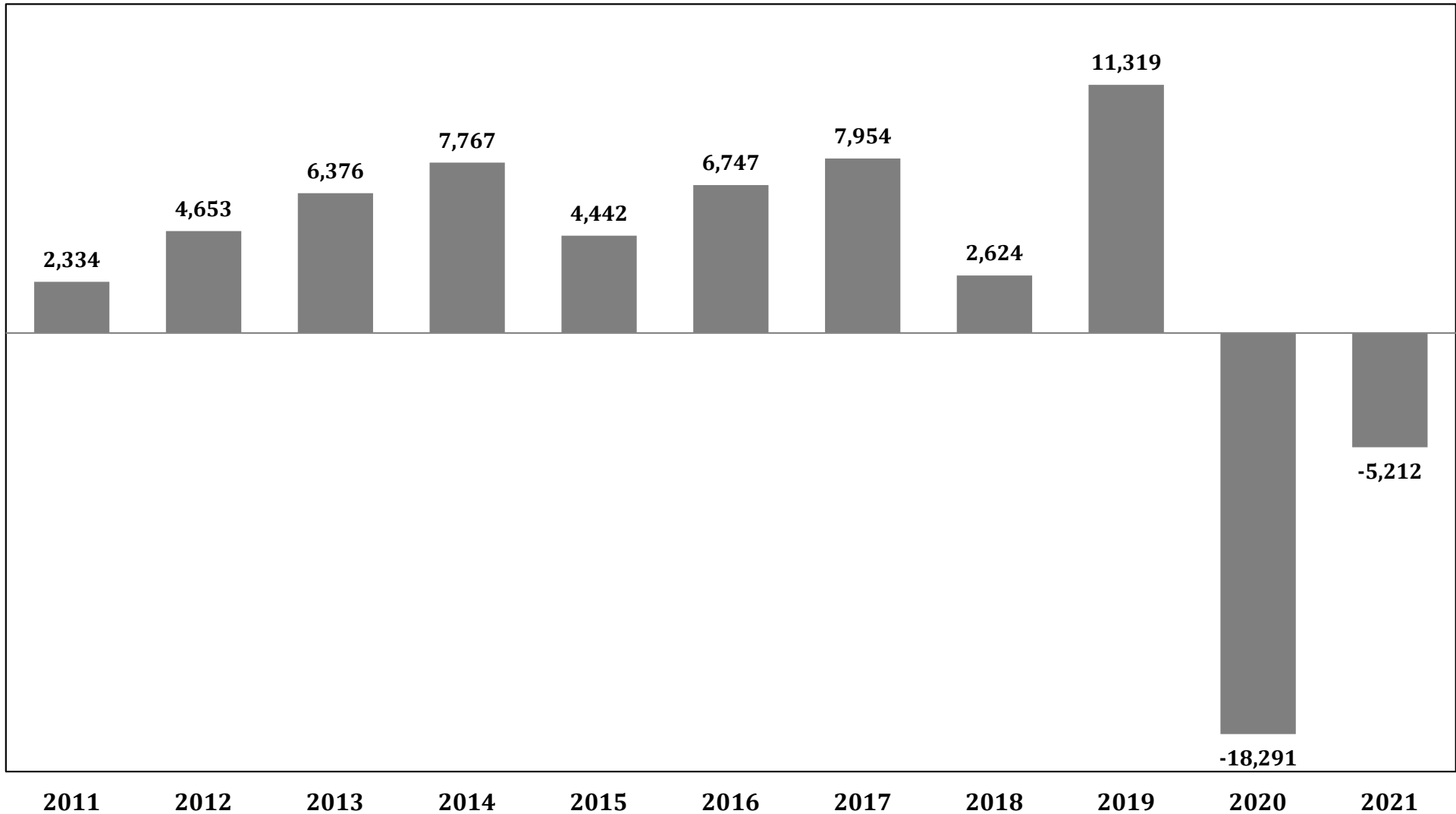
Source: Maryland Department of Planning from Maryland State Department of Education data.

# Historical Public School Enrollment in Maryland, 2010 - 2021

Source: Maryland Department of Education



## Historical Annual Change in Total Public School Enrollment in Maryland, 2011 - 2021 \*



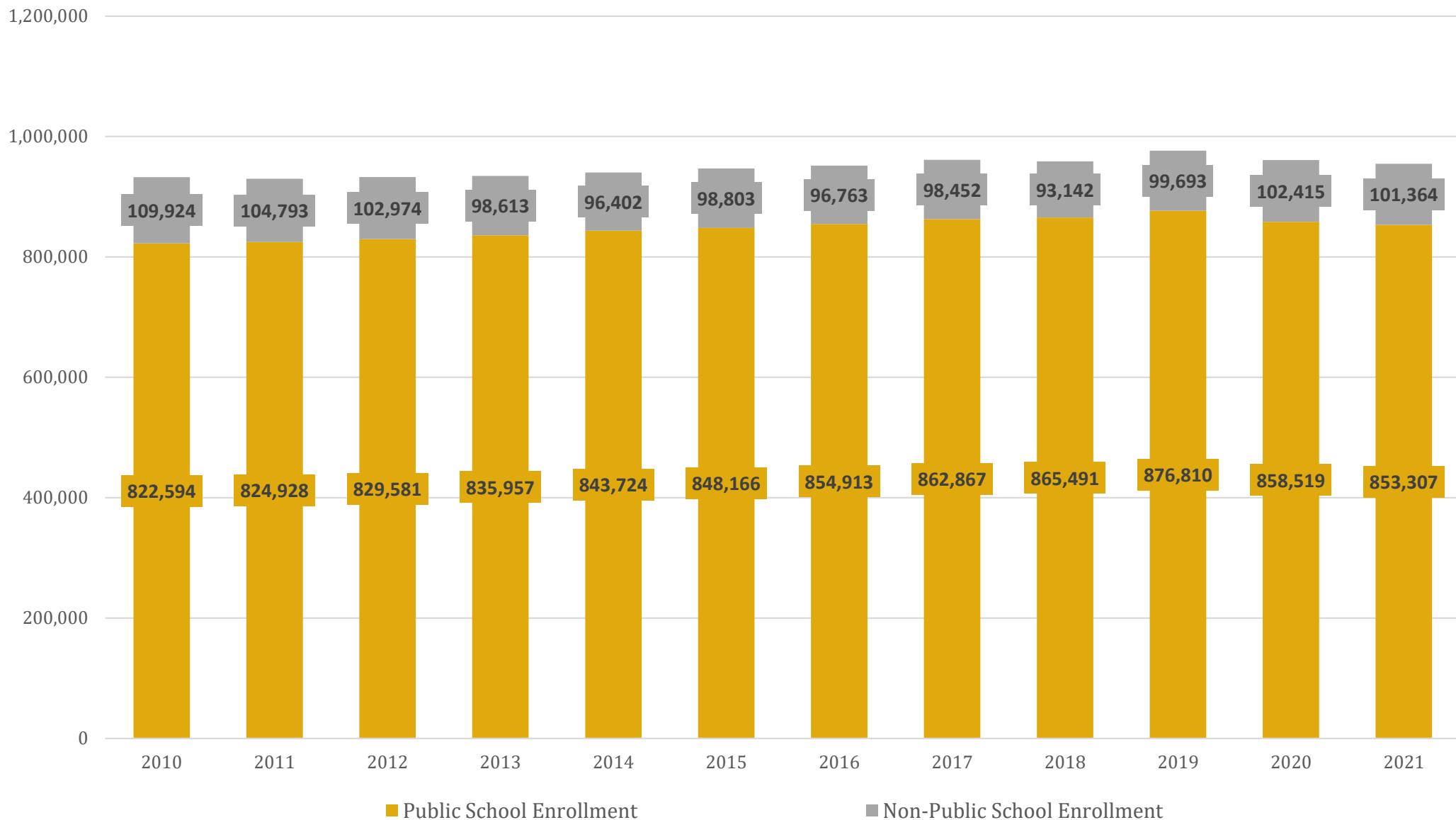
\* Grades K thru 12

Prepared by the Maryland Department of Planning

Source: Maryland State Department of Education

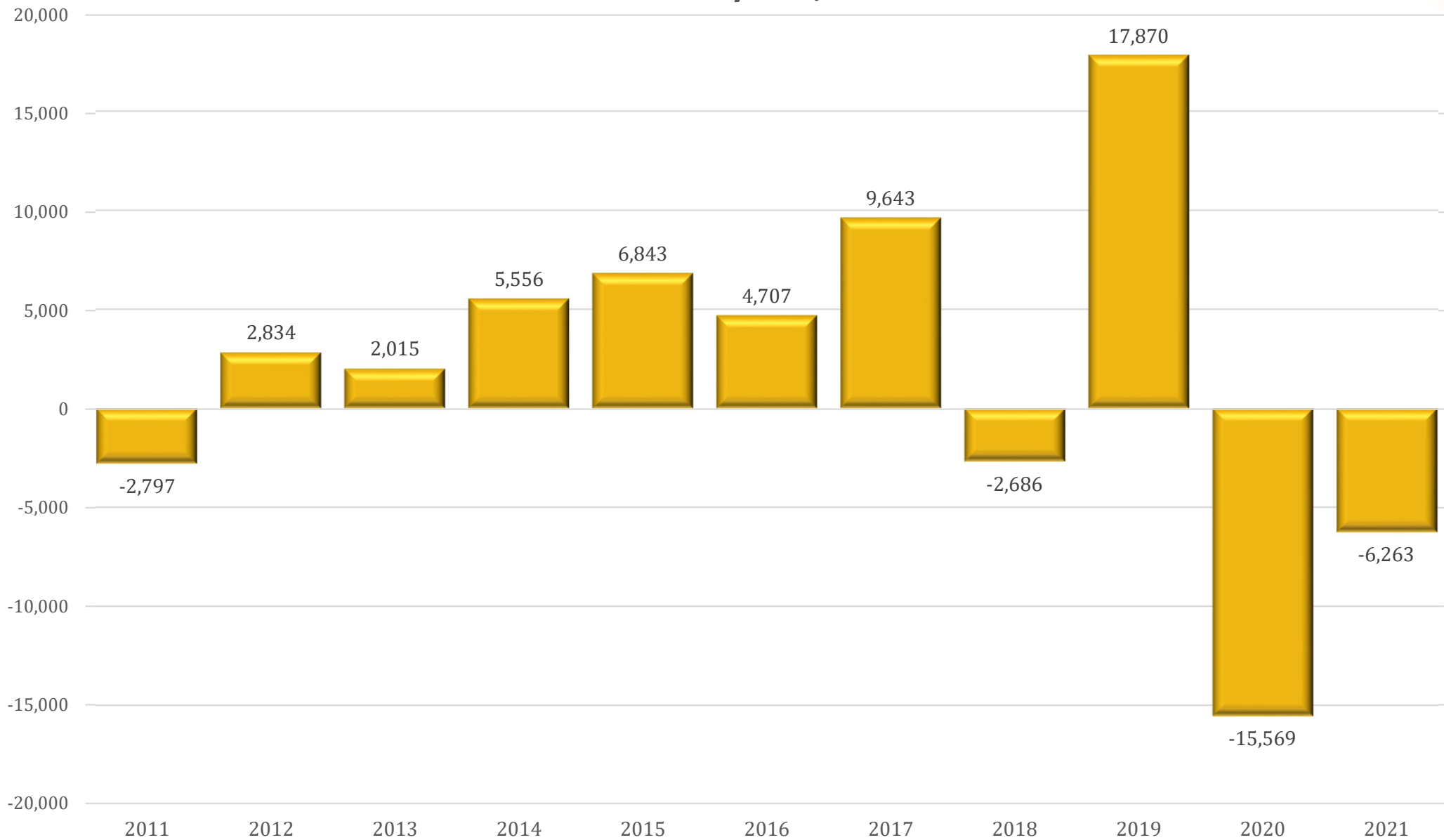


# Historical Public and Non-Public School Enrollment in Maryland, 2010 - 2021



Source: Maryland Department of Education

# Historical Public School and Non-Public School Enrollment in Maryland, 2011 - 2021



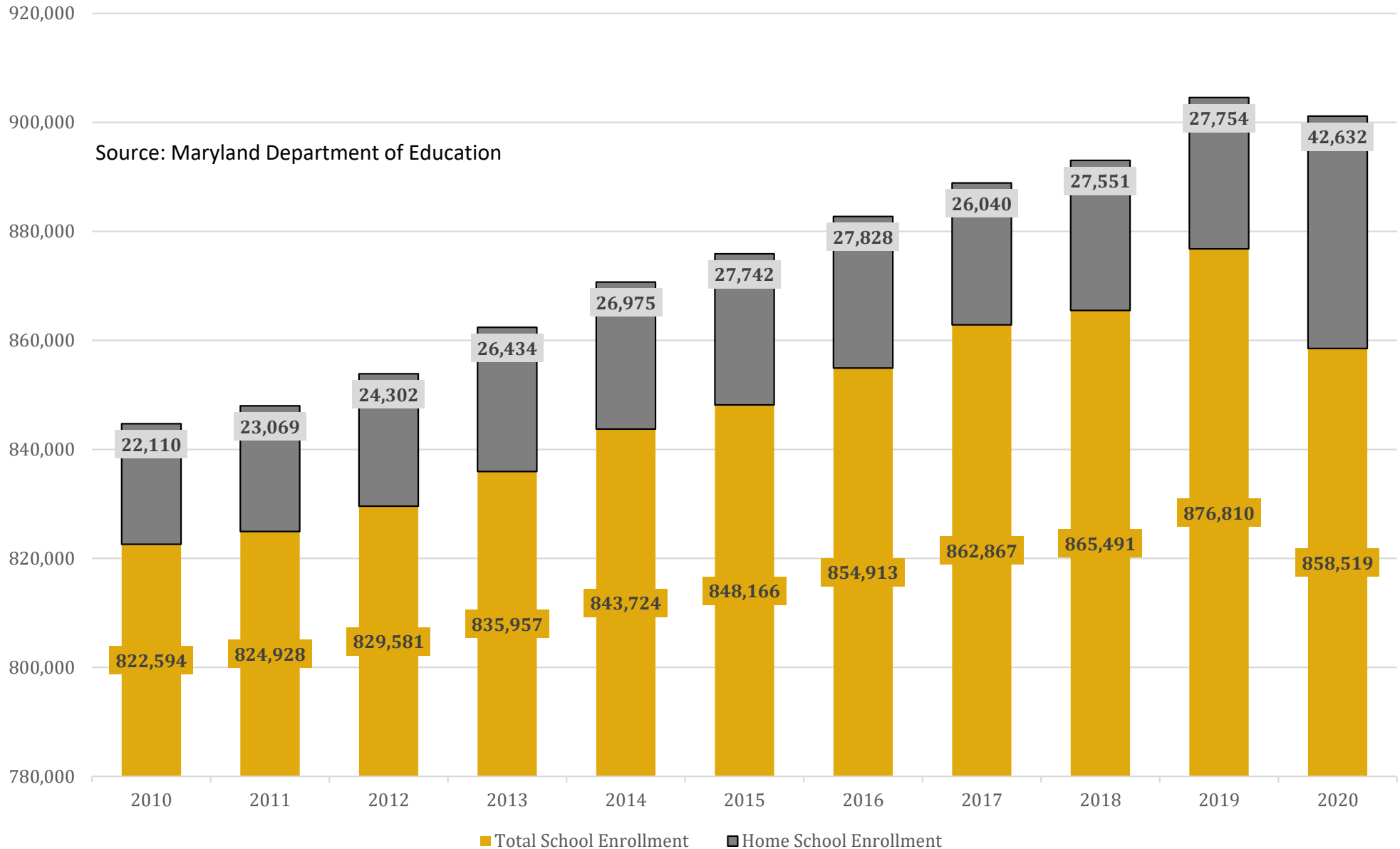
Source: Maryland Department of Education

■ Public+Private Enrollment Change

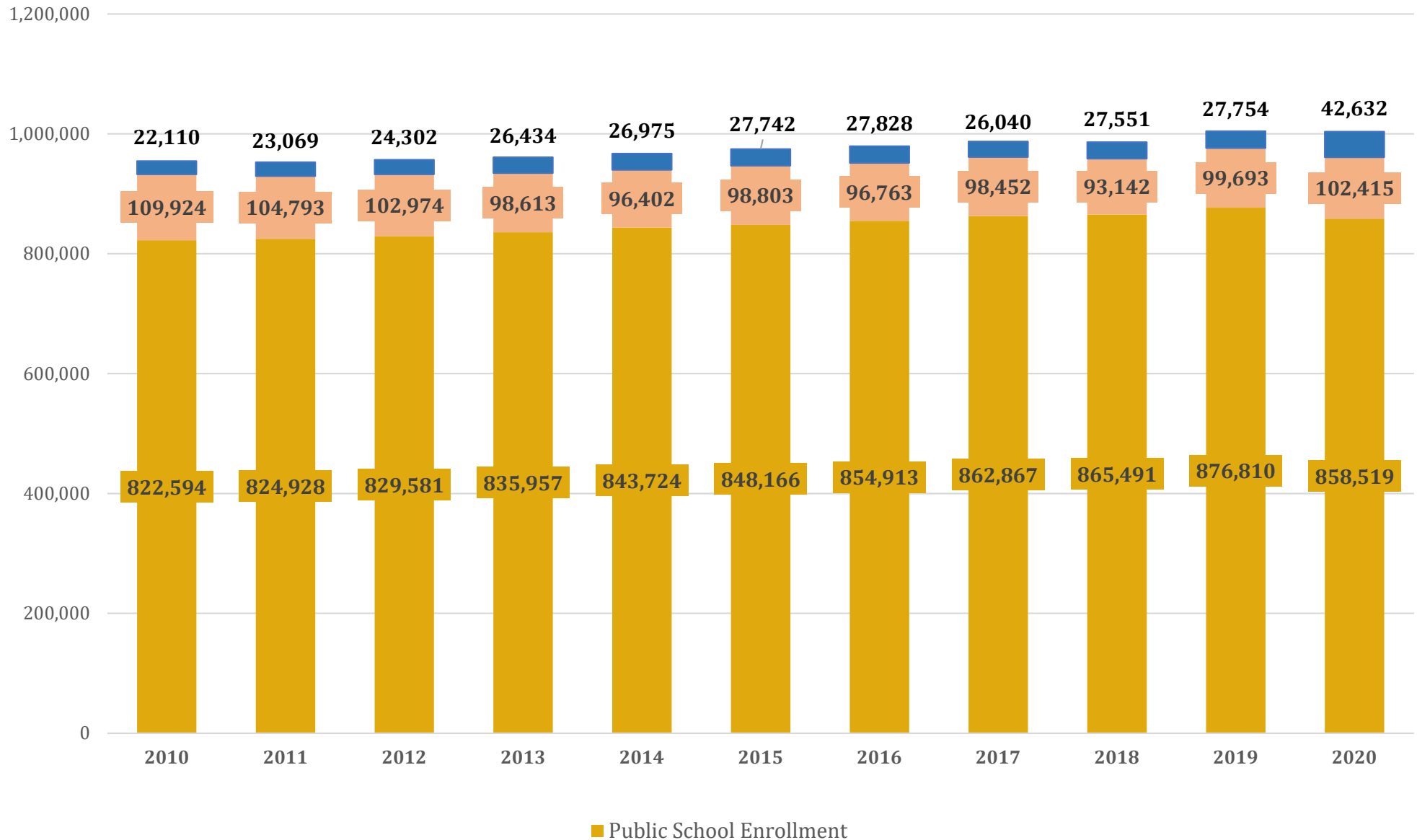
MARYLAND DEPARTMENT OF



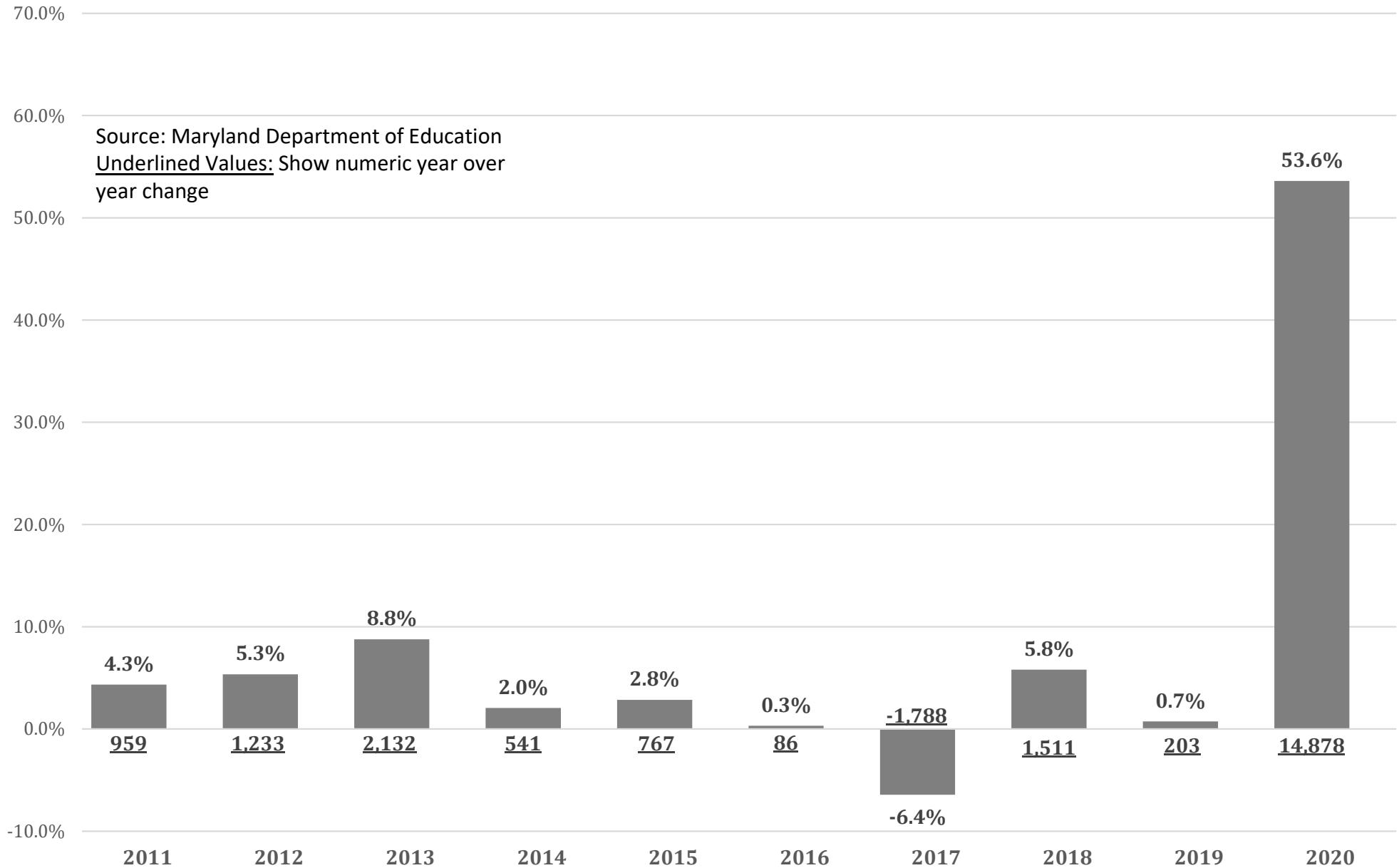
## Historical Public School and Home School Enrollment in Maryland, 2011 - 2020



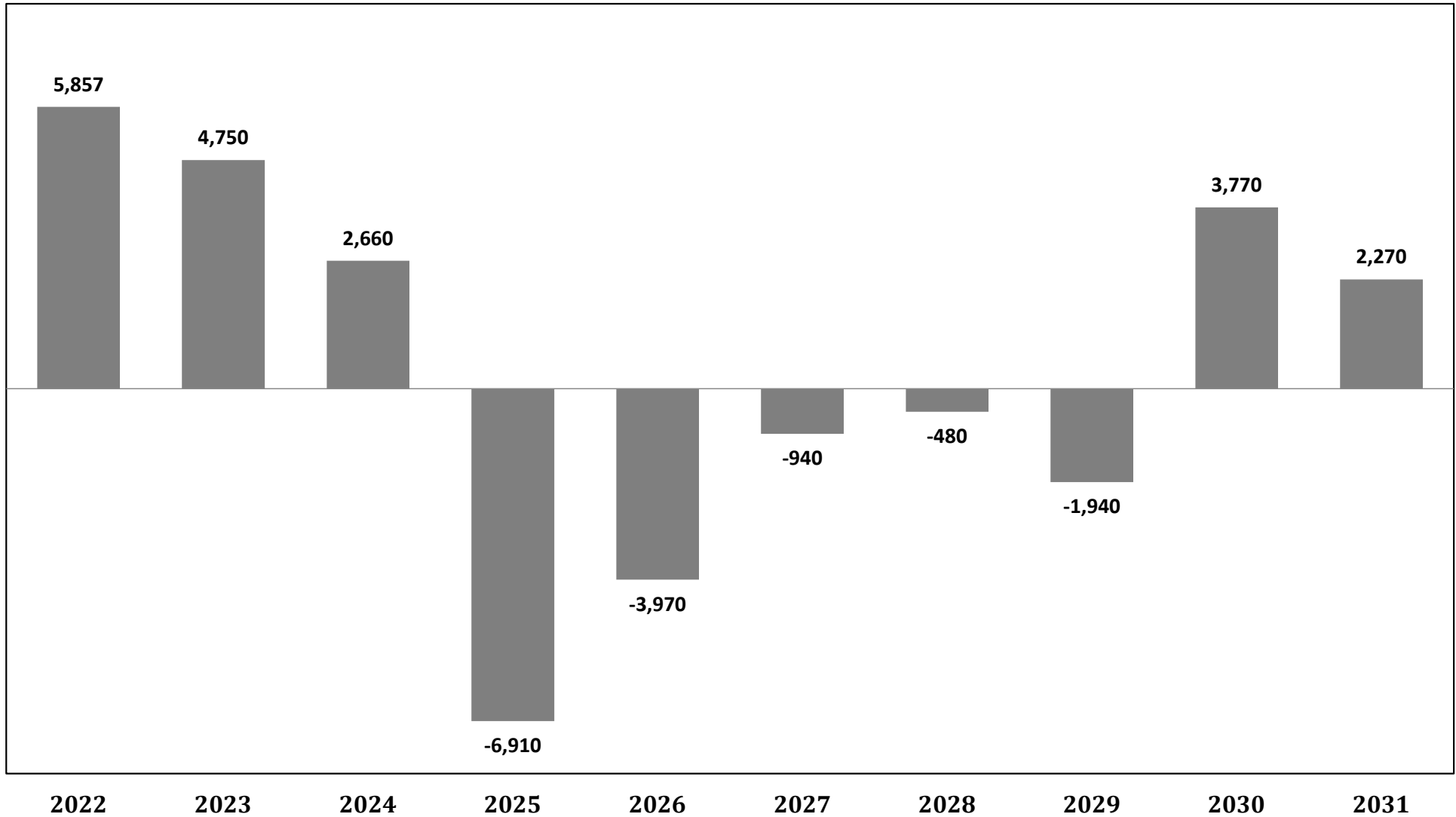
# Chart 28. Total (Historical Public + Non-Public + Homeschooled) Enrollment in Maryland, 2010 - 2020



## Historical Home Schooling Enrollment in Maryland, 2011 - 2020



## Projected Annual Change in Public High School Enrollment in Maryland, 2022 - 2031 \*



\* Grades 9 thru 12

Source: Maryland Department of Planning



# QUESTIONS / COMMENTS

## **Alfred Sundara, AICP**

Manager, Projections and State Data Center  
Maryland Department of Planning (MDP)

## **Jamie Bridges, AICP**

Manager, Planning  
Interagency Commission on School Construction (IAC)

**Item 11. HB1290 and FY 2023 Budget Presentation**

---

**Motion:**

This item is informational and does not require IAC action.

**Background Information:**

Please see the attached presentation - ***HB 1290 and FY 2023 Budget*** - dated May 11, 2022.

# **HB 1290 and FY 2023 Budget**

**Presentation to the Interagency Commission on School  
Construction**

**May 11, 2022**

# FY 2023 IAC Budget

**Exhibit A-2.8**  
**Fiscal 2023 School Construction Funding by Program and Fund Source**  
 (\$ in Millions)

	<u>GO</u> <u>Bonds</u>	<u>Revenue</u> <u>Bonds</u>	<u>General</u> <u>Funds</u>	<u>Federal</u> <u>Funds</u>	<u>Total</u>
Public School Construction Program	\$304.2	\$0.0	\$217.8	\$0.0	\$522.0
Built to Learn Act	0.0	480.0	0.0	0.0	480.0
Supplemental Capital Grant Program	95.4	0.0	0.0	0.0	95.4
Healthy School Facility Fund	50.0	0.0	0.0	40.0	90.0
School Construction Revolving Loan Program	0.0	0.0	40.0	0.0	40.0
Aging Schools Program	6.1	0.0	0.0	0.0	6.1
Nonpublic Aging Schools Program	3.5	0.0	0.0	0.0	3.5
<b>Total</b>	<b>\$459.2</b>	<b>\$480.0</b>	<b>\$257.8</b>	<b>\$40.0</b>	<b>\$1,237.0</b>

GO: general obligation

Note: Approximately \$480 million in revenue bonds for the Built to Learn program is anticipated to be available in fiscal 2023. Projects prioritized for funding have been previously approved by the Interagency Commission on School Construction but have not yet received an allocation. Figures include \$40 million of federal funds from the American Rescue Plan Act budgeted in the Dedicated Purpose Account for fiscal 2023.

IAC Meeting 05/11/2022

-219-

**PLUS:**  
 School Safety Grant  
 Program - \$10 M  
 Non-public school safety  
 program - \$3.5 M

# FY 2023 IAC Budget (cont.)

	<u>GO Bonds</u>	<u>Revenue Bonds</u>	<u>General Funds</u>	<u>Federal Funds</u>	<u>Total</u>
Public School Construction Program	\$304.2	\$0.0	\$217.8	\$0.0	\$522.0

## Includes:

- \$67.221 for Capital Improvement Program
- \$237 million earmarked for grants that:
  - Have 100% State match
  - Are for projects selected by the County (not the LEA)
  - Are for projects that have not receiving funding approval from IAC in FY 23 or any prior fiscal year

County	Allocation
Baltimore City	\$75
Baltimore County	\$85
Charles	\$5
Frederick	\$10
Howard	\$35
Prince George's	\$30
Counties not specified (and exc. Anne Arundel and Montgomery)*	\$2

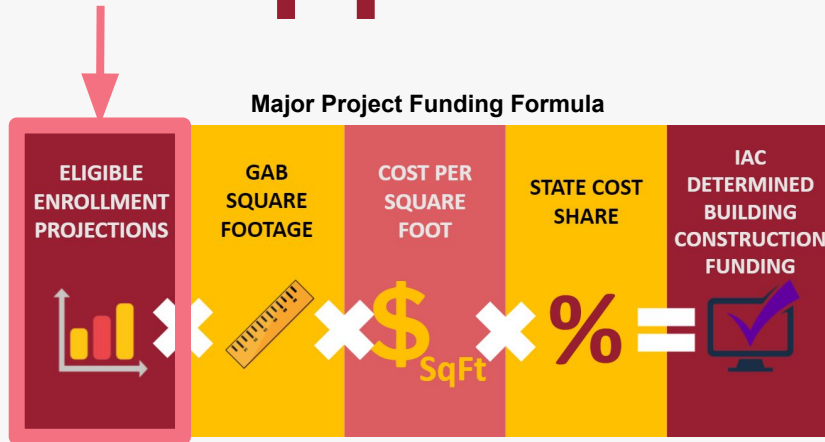
\*IAC is required to develop a process for the allocation of grants to unspecified counties

# HB 1290

## Provisions that Impact the IAC

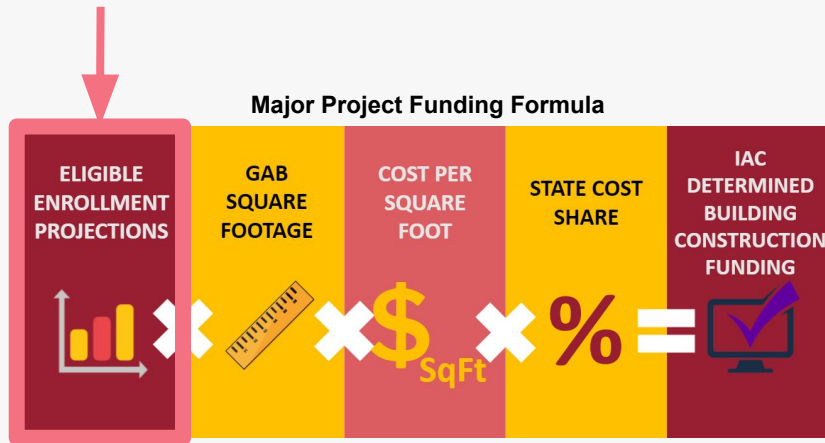


# Enrollment Projection Appeals



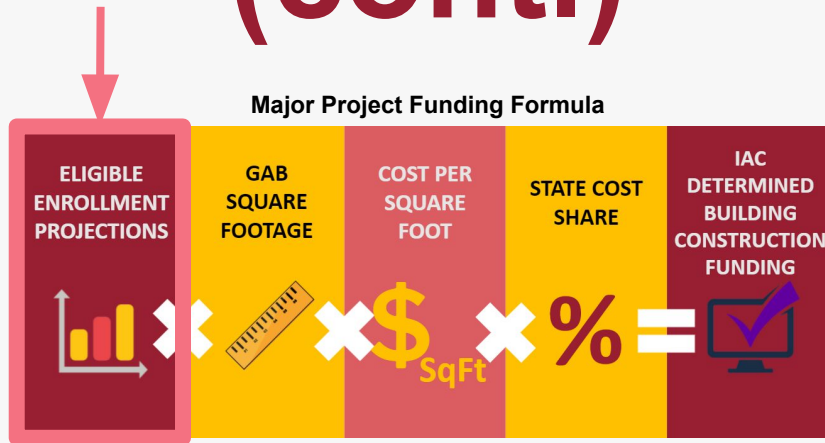
- Required to create an appeal process specifically for approved enrollments projections at an individual project
  - COMAR 14.39.02.28 currently allows for appeals of any IAC staff or IAC decision
  - Requires a separate and distinct process for enrollment projection decisions

# Adjacent Schools



- Current Practice:  
Enrollment projections based upon
  - Projection of subject school enrollment 7 years in future
  - Determined by LEA, and checked for reasonableness against school specific factors and county wide projections
  - Capacity at adjacent schools is added to enrollment projections to determine eligibility (so schools that are overcrowded add additional eligible students, those that are underutilized reduce eligible enrollment)

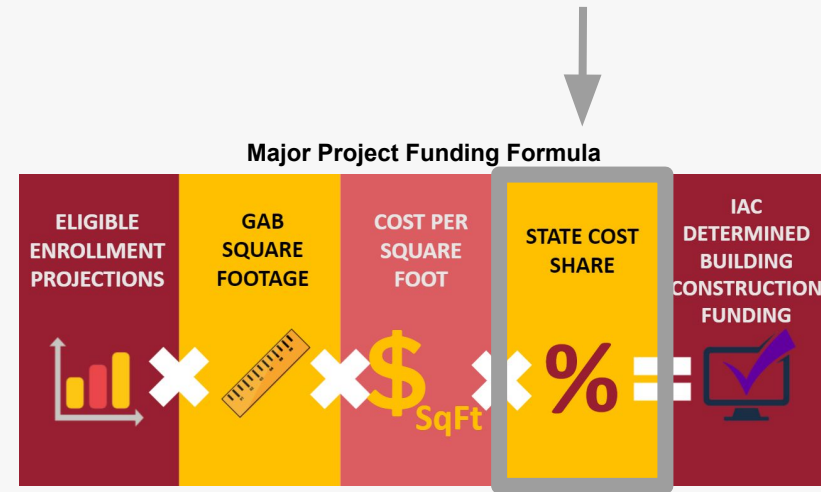
# Adjacent Schools (cont.)



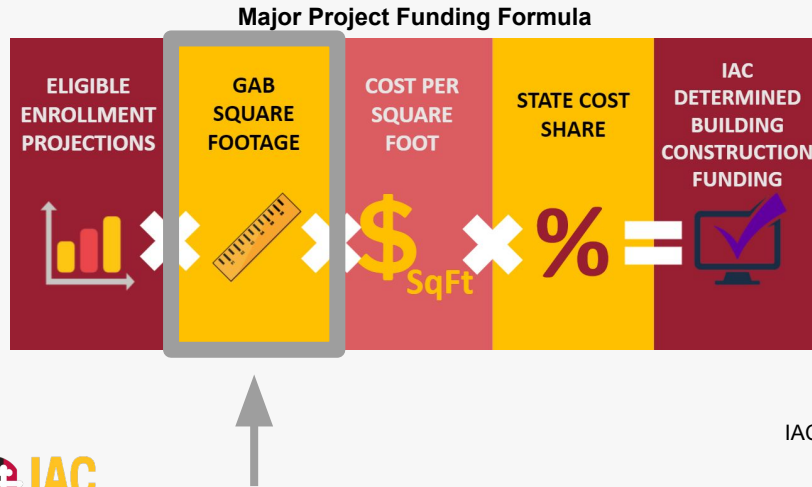
- 1290 Change:  
Enrollment projections based upon
  - Eligible enrollment determination unchanged
  - Adjacent schools
    - IAC may deduct for adjacent schools only if the sum of the available seat count in all adjacent schools is 15% or more of the project school's enrollment

- During biennial update, percentage decrease for each LEA limited to 5%
- Update cost share to require that formula be updated based upon Kirwan formula for FY 25 and FY 26
- Cost Share Increases for:
  - Concentration of Poverty 80% or Greater - 10% increase
  - Concentration of poverty >55%, <80% - 5% increase
- Maintenance - 5% increase for:
  - Schools with most recent MEA of Good or Superior; or
  - Schools with most recent MEA of adequate AND SFA data shows system average of 120% expected useful life
- Net Zero Schools - 5% increase

# State Local Cost Share



# Update Gross Area Baselines



- Before October 1, 2023 IAC shall update the gross area baselines to align with the Blueprint act, including:
  - english-language learners
  - Community schools eligible for concentration of poverty grants
  - Collaborative planning spaces for teachers
  - Break-out space for one-on-one instruction
  - Career and technical education
  - Prekindergarten



# Statewide Facilities Assessment

## Current Status

- Began procurement in 2017
- Unforeseen delays, contract approved by BPW September 25, 2020
- Compressed delivery timeline to complete all 1,400 assessments by July 2021
- Workgroup on the Assessment and Funding of School Facilities began meeting in Summer of 2021; IAC and DLS staff worked together to perform QA/QC on data set extraction and presentation
- Final full baseline set provided December 2021; Facility Condition Index (FCI) finalized; Maryland Condition Index (MDCI) postponed until Workgroup determines weighting

# Statewide Facilities Assessment

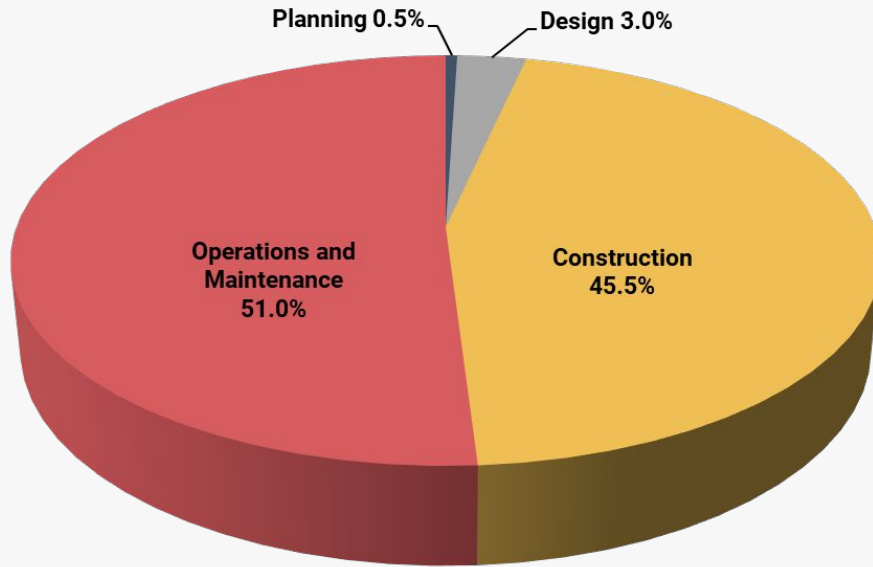
## HB 1290 Changes

- Assessment must include:
  - Process for LEA to report additional information relevant to the assessment annually, even if schools are not assessed that year
  - Additional elements, including:
    - Temperature
    - Humidity
    - Lead Paint
    - Kitchen Sanitary Equipment (in consultation with MDH)
    - Emergency Communication System\*
    - Life Safety Systems\*
    - Carbon Dioxide
    - Acoustics
    - Asbestos
    - Lighting
    - Health room attributes
    - Safety Equipment in lab spaces
    - Functionality of HVAC\*
    - Roofs\*
- For any item severe enough to cause a school to close, LEA is required to submit a plan to IAC on how to address the issue and IAC required to work to prioritize funding to correct

# Statewide Facilities Assessment Use of Assessment Information

- IAC is required to make the Integrated Master Facility Asset Library (IMFAL) available to all LEAs before using assessment data, EXCEPT to:
  - Provide context to IAC programs
  - Work with LEAs
  - Fulfill legislative requests
  - Complete analysis or reports
  - Assist with external reports
- IAC must adopt regulations for use of assessment data in making funding decisions on or after May 1, 2026 for decisions beginning not sooner than FY 2027
- New Workgroup formed on or before July 2024 to determine weighting
- IAC shall work with DLS to verify survey data through July 2025

# Total Cost of Ownership



The expected lifespan of a school facility (including appropriate renewals) is 50 to 60 years.

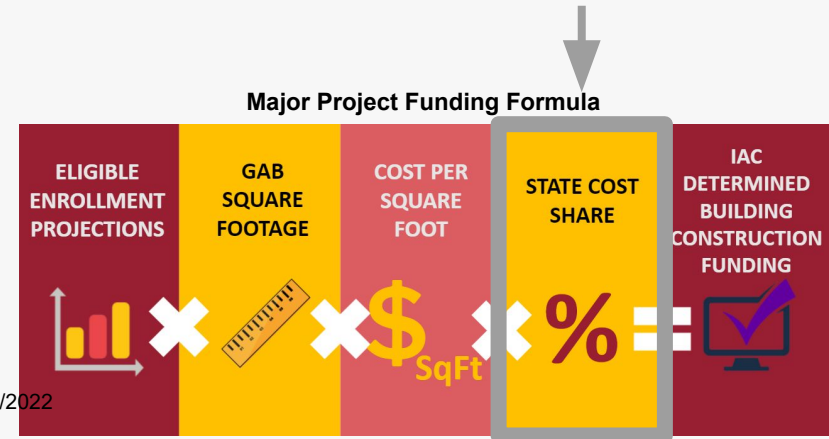
TCO takes into consideration the costs associated with the full life cycle of a school facility.

Includes: **Planning, Design, Construction, and Operations/Maintenance** phases.

The best practice is to consider total cost of ownership at every project stage.

- HB 1290 provides for a TCO incentive
- Projects that have an estimated TCO that is at least 15% less than the baseline TCO as developed by the IAC get a 5% increase in the State share for the project
- Actual must meet threshold one year after or 5% increase must be repaid
- IAC required to develop life cycle cost analysis standards and adopt regulations to carry out TCO incentive program

# Total Cost of Ownership (TCO) Incentive





# School Construction Revolving Loan Fund

- Purpose is to provide loans to local governments to forward fund the State or Local share of school construction projects that the local government:
  - needs help to fund in order to complete a project
  - Is able to repay the loan (if required)
- For projects that have received local planning approval
- Priority given to counties that haven't forward-funded projects and that have limited debt capacity
- Repayment within 5 years
- IAC may establish a procedure to grant a waiver
- Governor must fund \$40 m in FY 2023, \$20 m in FY 2024, and \$10 m per year in FY 2025 and 2026
- Can be used for BTL or CIP

- Currently in statute to provide for school construction projects that improve the health of school facilities; provides \$40 million per year through FY 2024
- HB 1290
  - Extends Healthy School Facility Fund to FY 2026 (rather than FY 2024)
  - Requires the Governor to appropriate at least \$90 million in FY 2024 through FY 2026
  - For FY 2021 through 2026 (was 2024) Baltimore City shall be awarded 50% of the funds appropriated

# Healthy School Facility Fund

- Allows IAC to provide Prince George's P3 funding to the LEA rather than the vendor
- Reinforces IAC role in Prince George's P3 Agreement
  - MOU must include roles of the IAC, including rights to
    - Approve project agreement
    - Approve site-specific ed specs
    - Approve final site selections
    - Role on the governing body of the program

# Prince George's Public Private Partnership

# Other Provisions

- Renames the Public School Facilities Priority Fund to the *Nancy K. Kopp Public School Facilities Priority Fund*
- Technical change to ASP and SSGP to correct an error from BTL legislation
- Intent of the General Assembly that, within debt affordability guidelines, State provides at least \$450 M (currently \$400 M) to school construction annually to maintain a stable number of funded projects in the CIP

- Report on the implementation requirements of the SFA, IMFAL, and recommendations by the Workgroup on the Assessment and Funding of school facilities. Due July 15, 2022
- Second report that updates on progress made on the July report and the implementation of HB1290. Due December 15, 2022
- Report on Charter and Contract School Facilities. Cooperating with the Maryland Alliance of Public Charter Schools on the condition of public charter and contract school facilities. Due December 31, 2022
- Report on Renewable Energy-fueled School in Western Maryland. The IAC will investigate the feasibility of a school fueled with forest biomass. Due January 1, 2023
- Report on Public and Nonpublic School Safety Grants. The IAC and MCSS will provide a joint update on the administration of the program as it is funded under the Operational Budget. Due December 1, 2022

# Requested Reports



**We'd love**  
to hear your questions

